

LEGEND

	PROPERTY LINE
	DISTURBED AREA LIMITS
	PROPOSED CONTOUR
	TEMPORARY SILT FENCE
	PROPOSED STORMDRAIN PIPE
	PROPOSED WATERLINE
	PROPOSED SANITARY SEWER
	PROPOSED SPOT ELEVATION FLOW LINE
	PROPOSED SPOT ELEVATION TOP OF CURB
	PROPOSED SPOT ELEVATION FINISH GRADE
	FLARED END SECTION WITH RIP-RAP ENERGY DISSIPATOR
	DROP INLET WITH INLET PROTECTION (DI)
	CURB INLET WITH INLET PROTECTION (CI)
	JUNCTION BOX WITH INLET PROTECTION (JB)
	PROPOSED FIRE HYDRANT
	EXISTING CONTOUR
	EXISTING TREE TO BE SAVED
	EXISTING TREE TO BE REMOVED
	TREE PROTECTION FENCING
	CONCRETE
	PERVIOUS MATERIAL
	PERVIOUS PAVERS
	GRAVEL

SITE DATA TABLE

PARCEL ID#:	R05000-003-023-000
PARCEL PIN#:	315812.12.9173.000
SITE ADDRESS:	MONUMENT DRIVE
PARCEL OWNER:	MAYFAIRE I, LLC / JEFFREY L. ZIMMER
PARCEL AREA:	5.17 ACRES (224,783 SF)
PROPOSED PARCEL USE:	OFFICE
CURRENT ZONING:	MX (MIXED USE)
CAMA LAND CLASSIFICATION:	URBAN
FUTURE LAND USE:	OFFICE
SOIL TYPE:	Le, To
BUILDING SETBACKS MX:	
FRONT SETBACK:	N/A
INTERIOR SIDE SETBACK:	N/A
REAR SETBACKS:	N/A
BUILDING SETBACKS PROPOSED:	
FRONT SETBACK:	30.25'
SIDE SETBACK (EAST):	28'
SIDE SETBACK (WEST):	421'
REAR SETBACK:	247.9'
BUILDING INFORMATION:	
CONSTRUCTION TYPE:	II-B
TOTAL # OF BUILDINGS=	2
GROSS FLOOR AREA=	20,000 SF+20,000 SF = 40,000 SF±
HEIGHT BUILDING 1=	35'
HEIGHT BUILDING 2=	35'
NUMBER OF STORIES=	
AREA STORY 1=	10,000 SF
AREA STORY 2=	10,000 SF
BUILDING LOT COVERAGE=	(28,266SF/224,783SF)x100=12.57%
IMPERVIOUS AREAS INSIDE 575' ORW:	
BUILDING 1=	11,601 SF (ROOF AREA)
CONCRETE CURB=	2,983 SF
SIDEWALK=	1,470 SF
FUTURE IMPERVIOUS=	15,889 SF
TOTAL IMPERVIOUS AREA=	31,943 SF*
*ALLOWABLE MAYFAIRE IMP. AREA WITHIN 575' ORW =	31,943 SF.
PROVIDED BY LAND DESIGN.	
PERVIOUS CONCRETE=	40,973 SF
PERVIOUS PAVERS=	1,950 SF
IMPERVIOUS AREAS OUTSIDE 575' ORW:	
BUILDING 1=	2,532 SF (ROOF AREA)
CONCRETE CURB=	321 SF
SIDEWALK=	675 SF
STONE=	556 SF
TOTAL IMPERVIOUS AREA=	4,084 SF
PERVIOUS CONCRETE=	1,544 SF
TOTAL IMPERVIOUS AREAS:	
BUILDINGS=	(11,601 SF + 2,532 SF) = 14,133 SF
CONCRETE CURB=	(2,983 SF + 321 SF) = 3,304 SF
SIDEWALK=	(1,470 SF + 675 SF) = 2,145 SF
STONE=	556 SF
FUTURE=	15,889 SF
TOTAL=	36,027 SF
PERCENT IMPERVIOUS=	16.03%
PERVIOUS CONCRETE=	(40,973 SF + 1,544 SF) = 42,517 SF
PERVIOUS PAVERS=	1,950 SF
REQUIRED PARKING:	
OFFICE: MAX: 1 PER 200 GSF =	200
MIN: 1 PER 300 GSF (NO MIN. REQUIREMENT IN MX ZONING)	N/A
TOTAL PARKING REQUIRED:	N/A
TOTAL PARKING PROVIDED:	65 (PHASE 1), 33 (PHASE 2)
REGULAR SPACES:	94
HC SPACES:	4
TOTAL SPACES:	98
BIKE PARKING REQUIRED:	5
BIKE PARKING PROVIDED:	5
AREA OF DISTURBED LIMITS =	3.72 ACRES (161,924 SF)
ESTIMATED TRIP GENERATION:	TRIPS ACCOMMODATED BY MAYFAIRE TIA.
WEEKDAY AADT:	300 TRIPS
WEEKDAY AM:	58 TOTAL (51 ENTERING, 7 EXITING)
WEEKDAY PM:	98 TOTAL (18 ENTERING, 80 EXITING)
SEWER/WATER DEMAND WITH FUTURE:	
40,000 SF / 1 PERSON / 200 SF =	25 GPD/PERSON = 5,000 GPD
WASTE:	PUSH CARTS

NOTES:
 1) SITE IS NOT LOCATED WITHIN A FLOODZONE ACCORDING TO NC FIRMS MAP NUMBER 3720315800K.

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

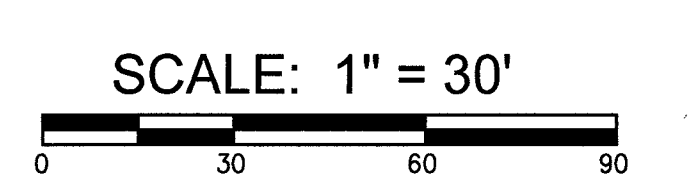
OVERALL SITE PLAN
 ZIMMER DEVELOPMENT
 COMPANY OFFICE - MAYFAIRE
 6725 MONUMENT DRIVE
 WILMINGTON, N. C.

OWNER
 MAYFAIRE I, LLC / JEFFREY L. ZIMMER
 530 GREENVILLE BLVD. SE.
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 PHONE: (910) 763-4669
 EMAIL: JEFFREYZIMMER@ZDC.COM

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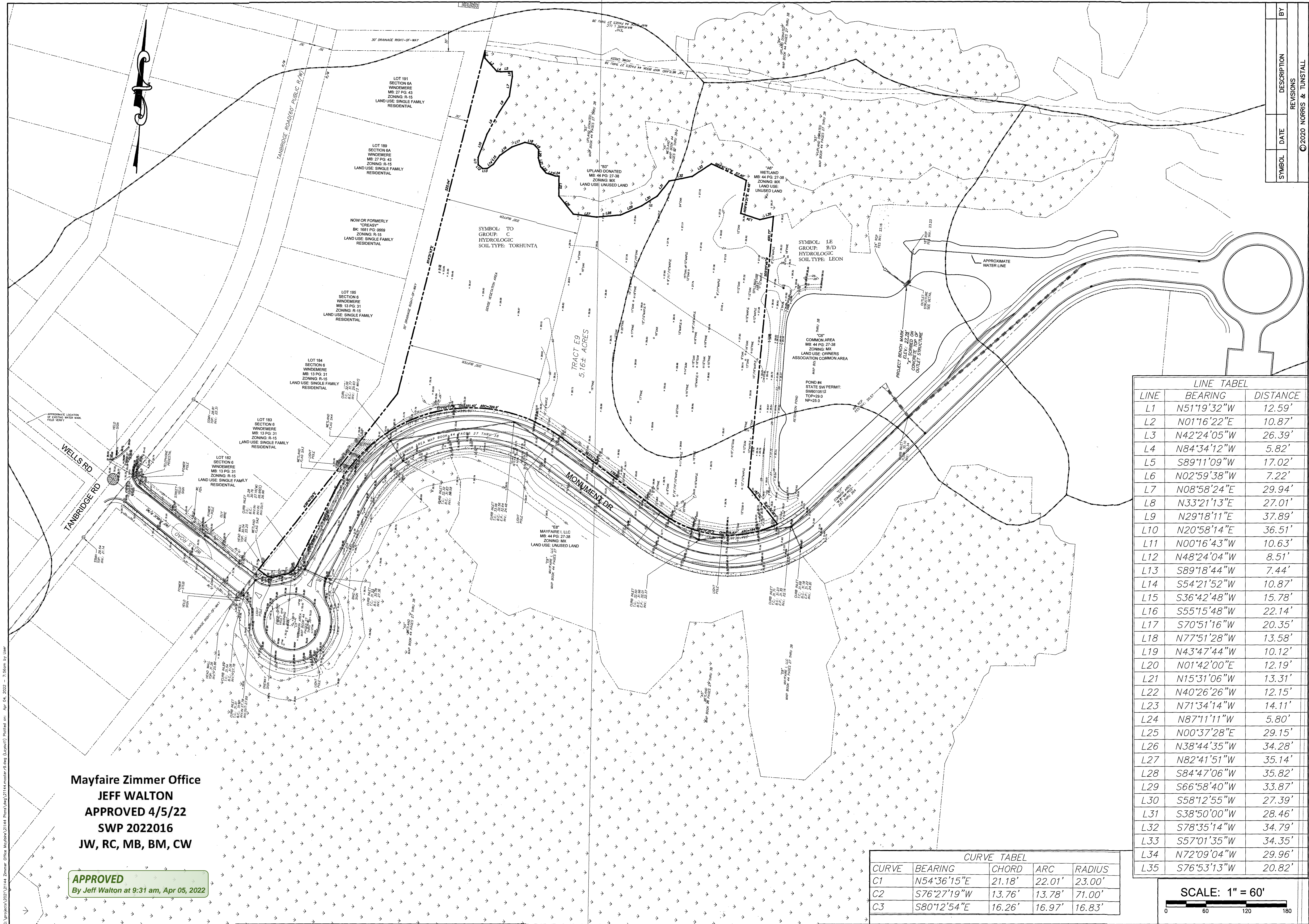
Mayfaire Zimmer Office
JEFF WALTON
APPROVED 4/5/22
SWP 2022016
JW, RC, MB, BM, CW

APPROVED
 By Jeff Walton at 9:31 am, Apr 05, 2022



Licence #C-3641	21144
DES. JST	5:PN
CHK. JST	RPH
DRWN. JST	
DATE	4/4/22

CO



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JEFF WALTON
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 SWP 2022016
 JW, RC, MB, BM, CW

APPROVED
 By Jeff Walton at 9:31 am, Apr 05, 2022

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	
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EXISTING CONDITIONS & SITE INVENTORY
 ZIMMER DEVELOPMENT
 COMPANY OFFICE - MAYFAIRE
 6725 MONUMENT DRIVE
 WILMINGTON, N. C.

OWNER
 MAYFAIRE I, LLC / JEFFREY L. ZIMMER
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 SUITE 200
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 PHONE: (910) 345-9625

Licence #C-3641
21144
 DES. JST
 CKD. JPN
 DRWN. RPH
 DATE 4/4/22

LINE LABEL		
LINE	BEARING	DISTANCE
L1	N51°19'32"W	12.59'
L2	N01°16'22"E	10.87'
L3	N42°24'05"W	26.39'
L4	N84°34'12"W	5.82'
L5	S89°11'09"W	17.02'
L6	N02°59'38"W	7.22'
L7	N08°58'24"E	29.94'
L8	N33°21'13"E	27.01'
L9	N29°18'11"E	37.89'
L10	N20°58'14"E	36.51'
L11	N00°16'43"W	10.63'
L12	N48°24'04"W	8.51'
L13	S89°18'44"W	7.44'
L14	S54°21'52"W	10.87'
L15	S36°42'48"W	15.78'
L16	S55°15'48"W	22.14'
L17	S70°51'16"W	20.35'
L18	N77°51'28"W	13.58'
L19	N43°47'44"W	10.12'
L20	N01°42'00"E	12.19'
L21	N15°31'06"W	13.31'
L22	N40°26'26"W	12.15'
L23	N71°34'14"W	14.11'
L24	N87°11'11"W	5.80'
L25	N00°37'28"E	29.15'
L26	N38°44'35"W	34.28'
L27	N82°41'51"W	35.14'
L28	S84°47'06"W	35.82'
L29	S66°58'40"W	33.87'
L30	S58°12'55"W	27.39'
L31	S38°50'00"W	28.46'
L32	S78°35'14"W	34.79'
L33	S57°01'35"W	34.35'
L34	N72°09'04"W	29.96'
L35	S76°53'13"W	20.82'

CURVE LABEL				
CURVE	BEARING	CHORD	ARC	RADIUS
C1	N54°36'15"E	21.18'	22.01'	23.00'
C2	S76°27'19"W	13.76'	13.78'	71.00'
C3	S80°12'54"E	16.26'	16.97'	16.83'

SCALE: 1" = 60'



C1

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- TREE PROTECTION FENCING
- CONCRETE
- PERVIOUS MATERIAL
- PERVIOUS PAVERS
- GRAVEL

NOTES:
 1) REPLACE STREET TREES ALONG FRONTAGE SHALL BE A MINIMUM THREE (3) INCH CALIPER AND SHALL BE LOCATED AT A MINIMUM FIFTY (50) FEET ON CENTER.

LOT 184
 SECTION 6
 WINDEMERE
 MB: 13 PG: 31
 ZONING: R-15
 LAND USE: SINGLE FAMILY RESIDENTIAL

TREE REMOVAL TABLE

OAK	MAPLE	GUM	STREET TREES
8"	(1) 8"/9"/10"/10"	(1) 10"/10"	ALL STREET TREES NEEDED FOR UTILITY INSTALLATION
9"	(1) 9"/11"/12"	(1) 14"	
10"	(2) 9"/11"/12"	(1) 14"	
11"	(1) 10"/12"	(1) 18"	
12"	(1) 10"/12"	(1) 18"	
12"/15"	(1) 10"/16"	(1) 17"	
13"	(1) 11"/16"	(1) 15"	
14"	(2) 12"/12"	(1) 18"	
15"	(2) 12"/12"	(1) 18"	
16"	(2) 12"/14"	(1) 18"	
18"	(1) 16"/18"	(1) 20"	
20"	(1) 16"/18"	(1) 20"	

TREE INVENTORY TABLE

OAK	MAPLE	GUM	PINE
8"	(1) 8"/9"/10"/10"	(1) 10"/10"	(1)
9"	(1) 9"/11"/12"	(1) 12"/12"	(2)
10"	(2) 9"/11"/12"	(1) 14"	(2)
11"	(1) 10"/12"	(1) 18"	(1)
12"	(1) 10"/12"	(1) 18"	(2)
12"/15"	(1) 10"/16"	(1) 17"	(2)
13"	(1) 11"/16"	(1) 15"	(2)
14"	(2) 12"/12"	(1) 18"	(2)
15"	(2) 12"/12"	(1) 18"	(2)
16"	(2) 12"/14"	(1) 18"	(2)
18"	(1) 16"/18"	(1) 20"	(3)
20"	(1) 16"/18"	(1) 20"	(3)

Mayfaire Zimmer Office
JEFF WALTON
 APPROVED 4/5/22
 SWP 2022016
 JW, RC, MB, BM, CW

APPROVED
 By Jeff Walton at 9:31 am, Apr 05, 2022

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

TREE REMOVAL
 ZIMMER DEVELOPMENT
 COMPANY OFFICE - MAYFAIRE
 6725 MONUMENT DRIVE
 WILMINGTON, N. C.

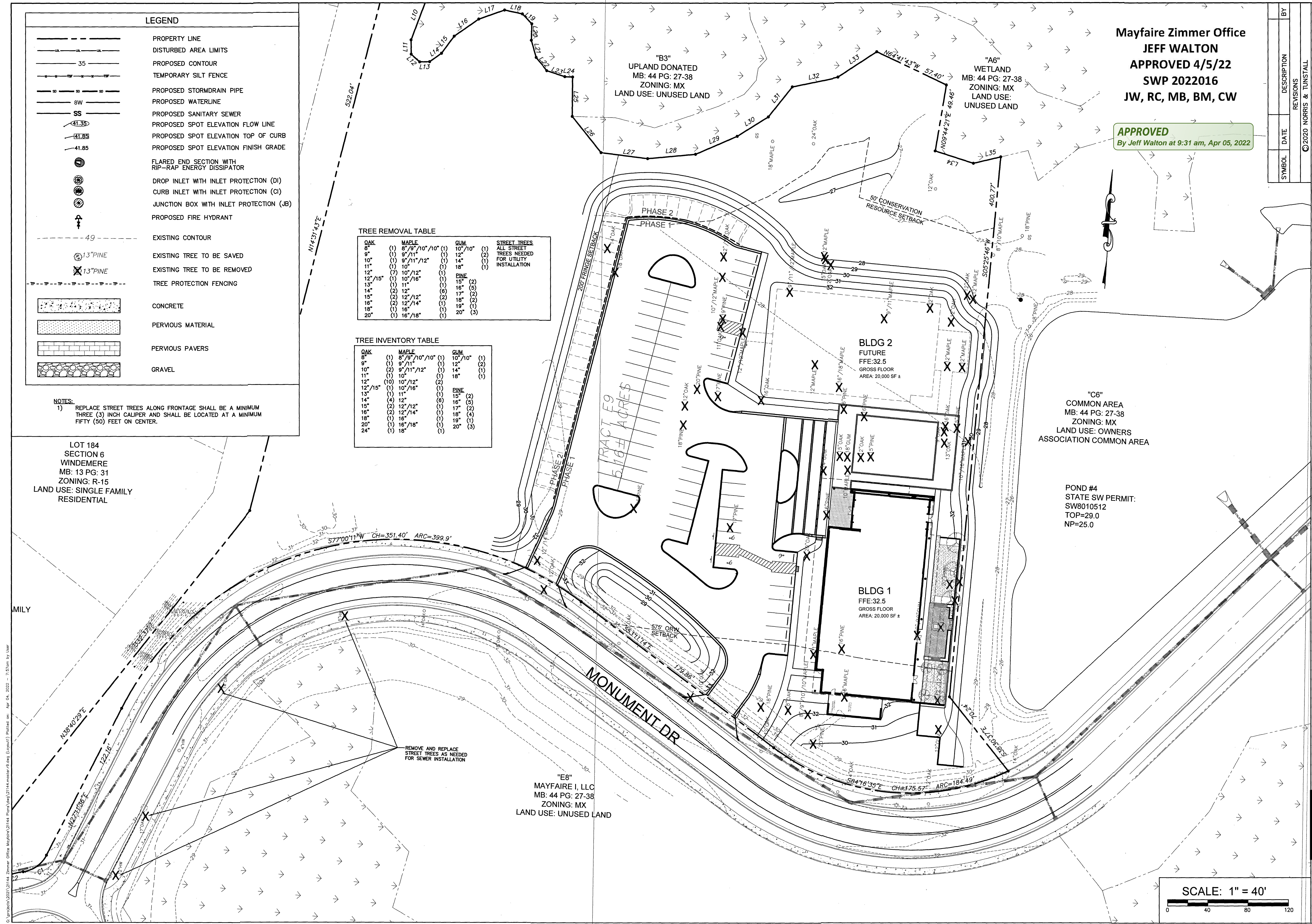
OWNER/DEVELOPER
 MAYFAIRE I, LLC / JEFFREY L. ZIMMER
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 ASH, NC 28620
 PHONE (910) 285-5900

License #C-3641
21144
 DES. JST
 C.D. JPN
 DRWN. RPH
 DATE 4/4/22

SCALE: 1" = 40'

C1.1

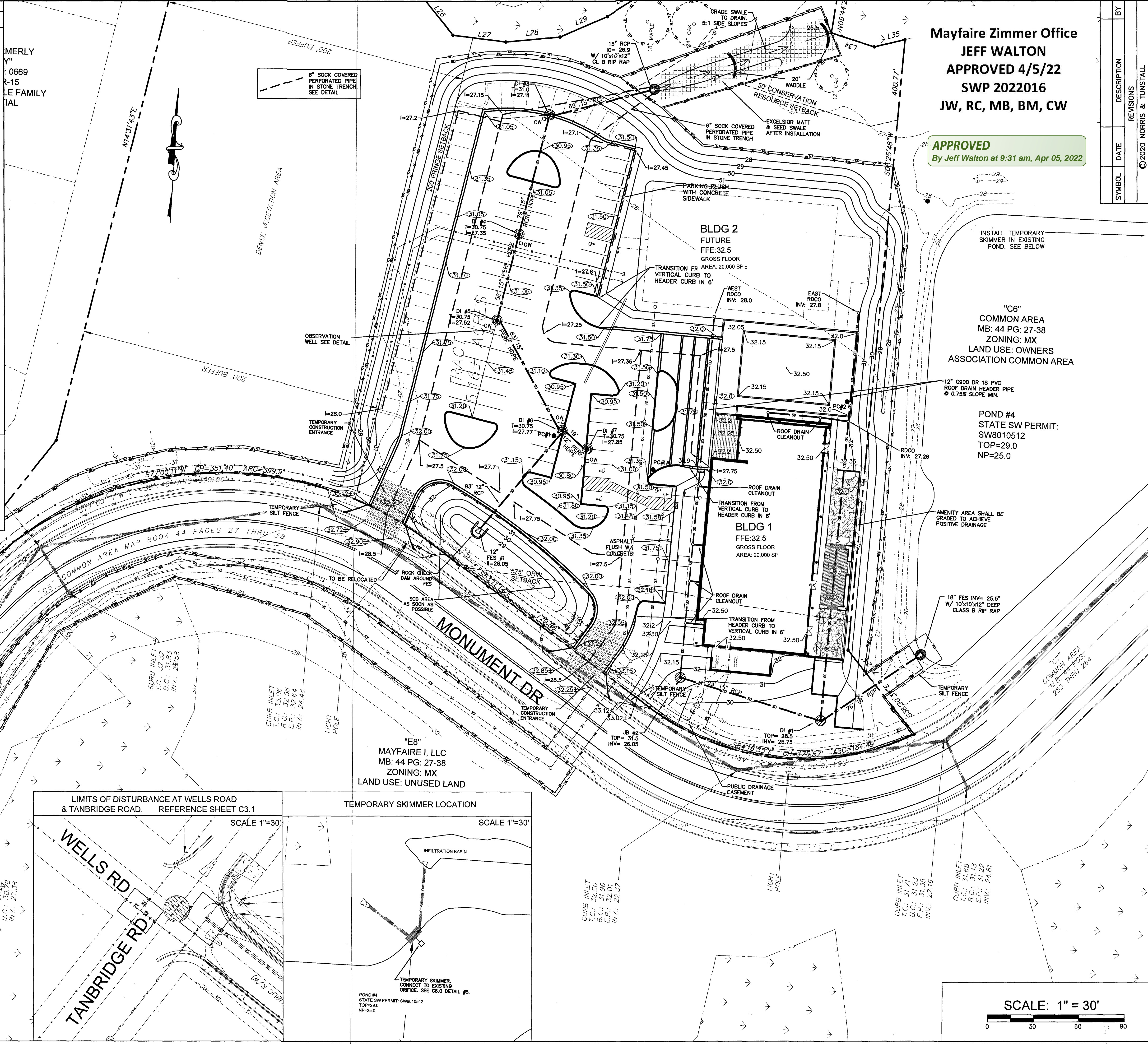


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LEGEND

	PROPERTY LINE
	DISTURBED AREA LIMITS
	PROPOSED CONTOUR
	TEMPORARY SILT FENCE
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	CONCRETE
	PERVIOUS MATERIAL
	PERVIOUS PAVERS
	GRAVEL

- NOTES:**
- 1) ALL FILL MATERIAL UNDER PROPOSED PERVIOUS MATERIALS AND FUTURE PERVIOUS MATERIALS SHALL BE COARSE SAND WITH LESS THAN 5% PASSING #200 SIEVE.
 - 2) ALL MATERIALS (SAND AND PERVIOUS MATERIALS) SHALL BE TESTED IN PLACE FOR INFILTRATION PRIOR TO PLACING PERVIOUS MATERIAL. PER CITY OF WILMINGTON, DROP INLET GRATES WITHIN PERVIOUS PARKING SHALL BE RAISED 1/8" HIGHER THAN PERVIOUS CONCRETE ELEVATION.
 - 3) LANDSCAPE ISLANDS SHALL BE DEPRESSED.



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APPROVED
 By Jeff Walton at 9:31 am, Apr 05, 2022

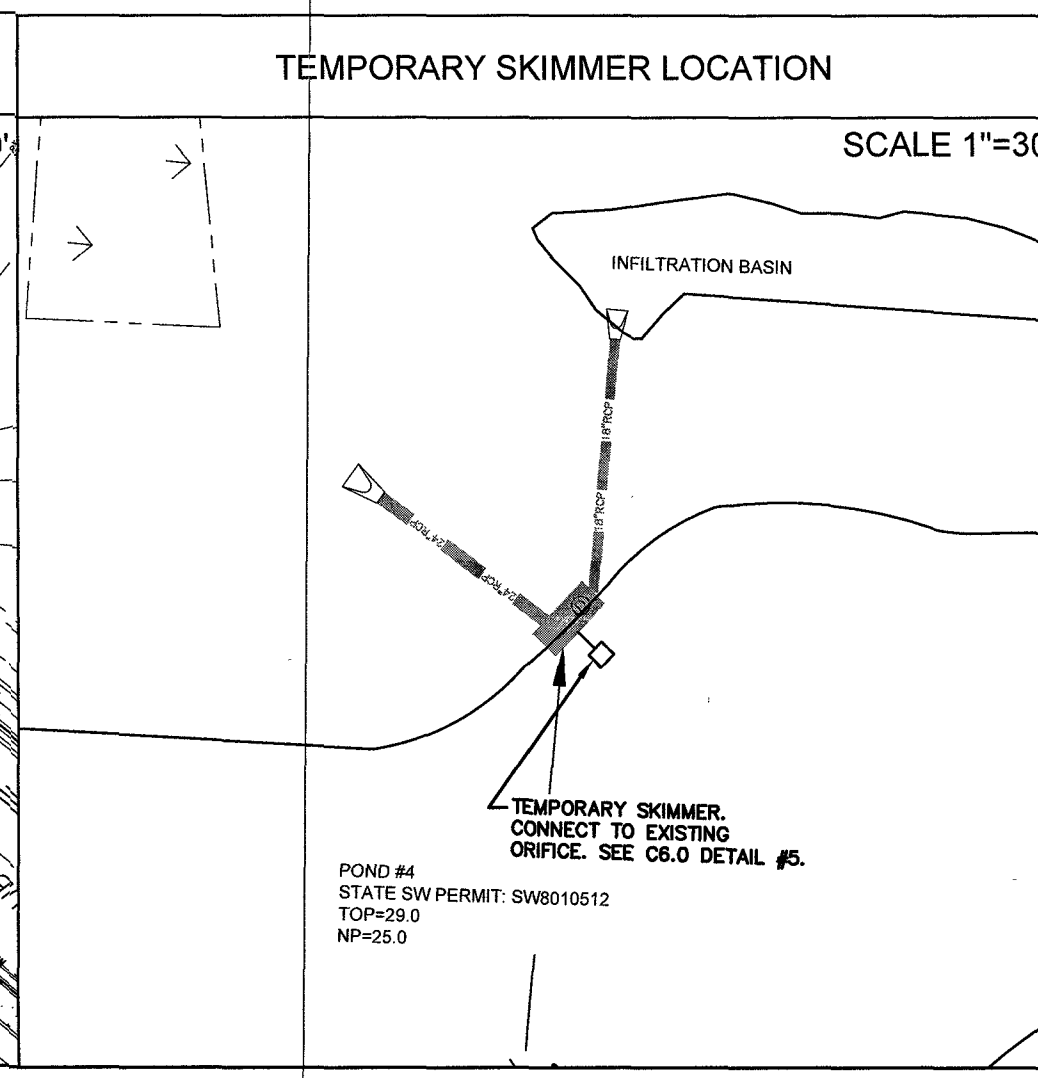
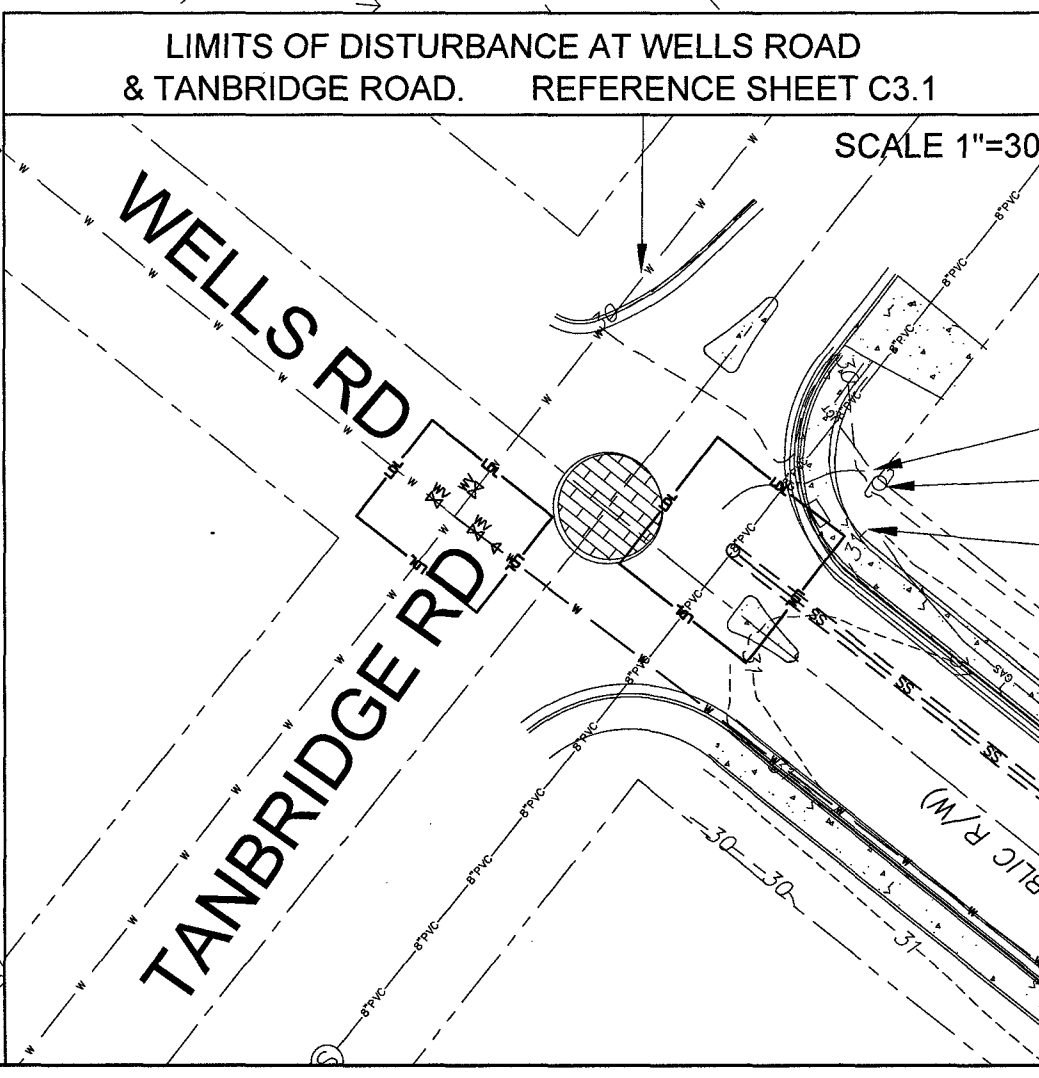
BY	DESCRIPTION	DATE	REVISIONS

GRADING & EROSION CONTROL PLAN
ZIMMER DEVELOPMENT
COMPANY OFFICE - MAYFAIRE
6725 MONUMENT DRIVE
WILMINGTON, N. C.

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 WILMINGTON, NC 28412 ASH, NC 28420
 PHONE (910) 343-9653 PHONE (910) 287-5900

License #C-3641
21144
 DES: JST
 CDD: JPN
 DRW: RPH
 DATE: 4/4/22



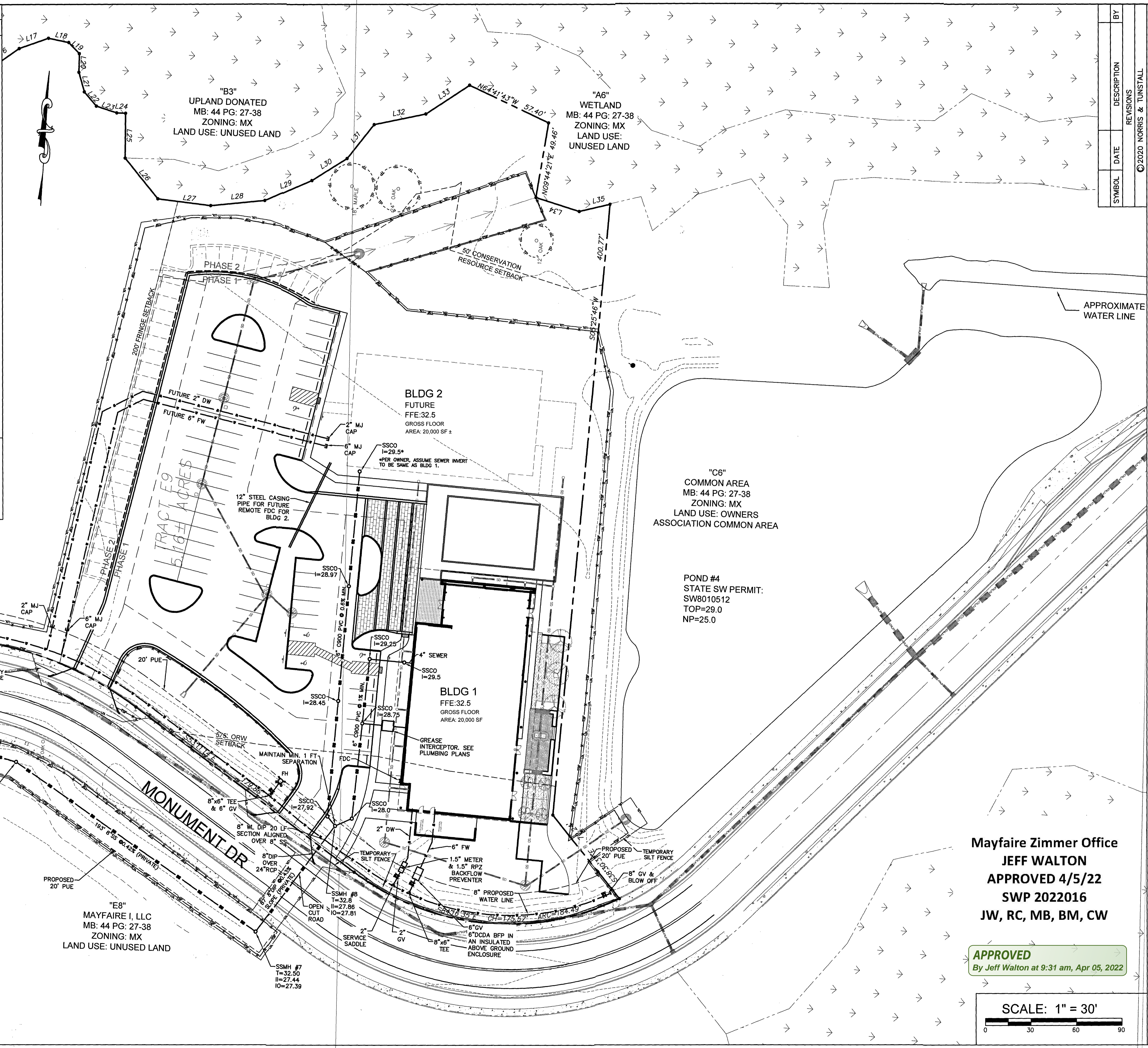
SCALE: 1" = 30'

C2

LEGEND

- PROPERTY LINE
- DISTURBED AREA LIMITS
- PROPOSED CONTOUR
- TEMPORARY SILT FENCE
- PROPOSED STORMDRAIN PIPE
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- CONCRETE
- PERVIOUS MATERIAL
- PERVIOUS PAVERS
- GRAVEL

NOTES:
 1) ALL ELECTRIC, CABLE TELEVISION, AND TELEPHONE FACILITIES, FIRE ALARM CONDUITS, STREET LIGHT WIRING AND SIMILAR FACILITIES SHALL BE PLACED UNDERGROUND BY THE DEVELOPER OR THE APPROPRIATE UTILITY COMPANY.



SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

UTILITY PLANNING ONSITE
ZIMMER DEVELOPMENT
 COMPANY OFFICE - MAYFAIRE
 6725 MONUMENT DRIVE
 WILMINGTON, N. C.

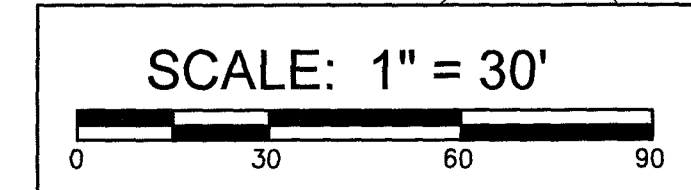
OWNER/DEVELOPER
 MAYFAIRE I, LLC / JEFFREY L. ZIMMER
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 GREENVILLE, NC 27868
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 PHONE (910) 343-9653

Licence #C-3641
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 CDR. JPN
 DRW. RPH
 DATE 4/4/22

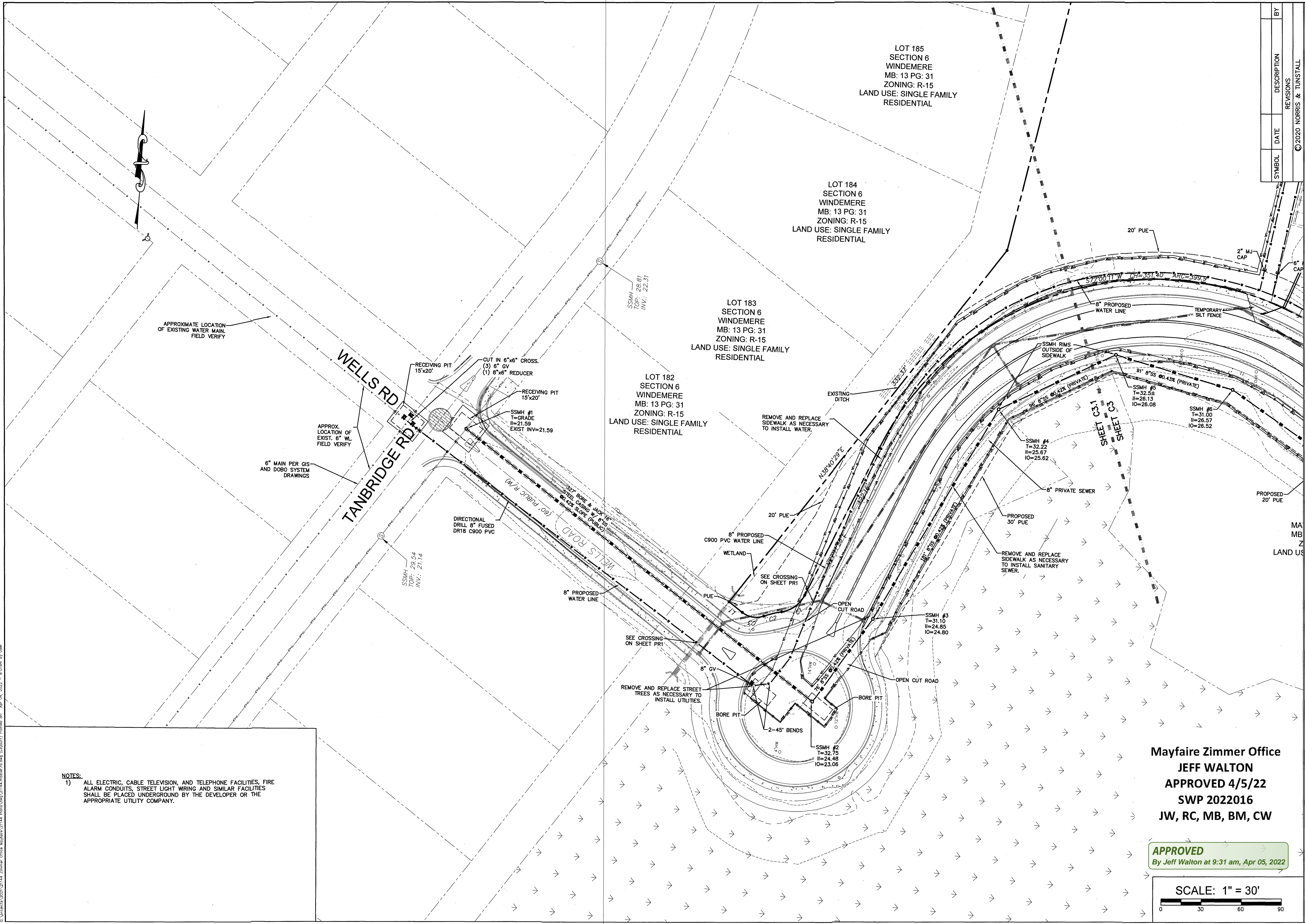
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JEFF WALTON
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SWP 2022016
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 By Jeff Walton at 9:31 am, Apr 05, 2022



C3

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		REVISIONS	
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UTILITY PLAN OFFSITE
ZIMMER DEVELOPMENT
COMPANY OFFICE - MAYFAIRE
6725 MONUMENT DRIVE
WILMINGTON, N. C.

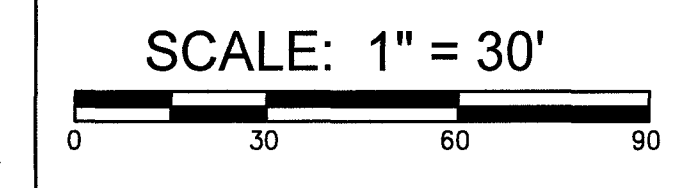
OWNER/DEVELOPER
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 DRWN. RPH
 DATE 4/4/22

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JEFF WALTON
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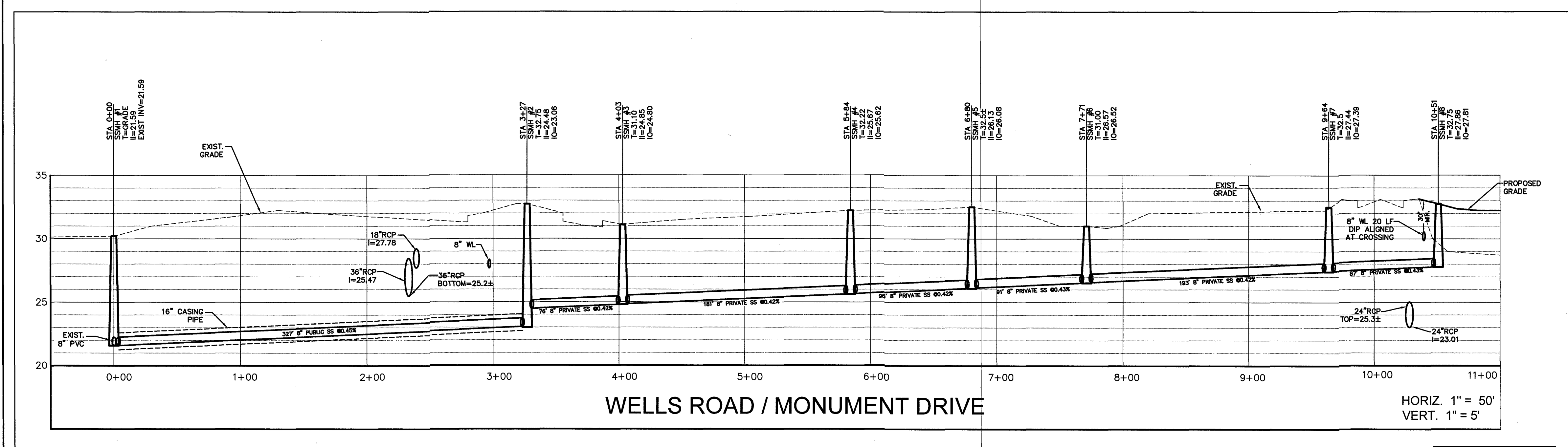
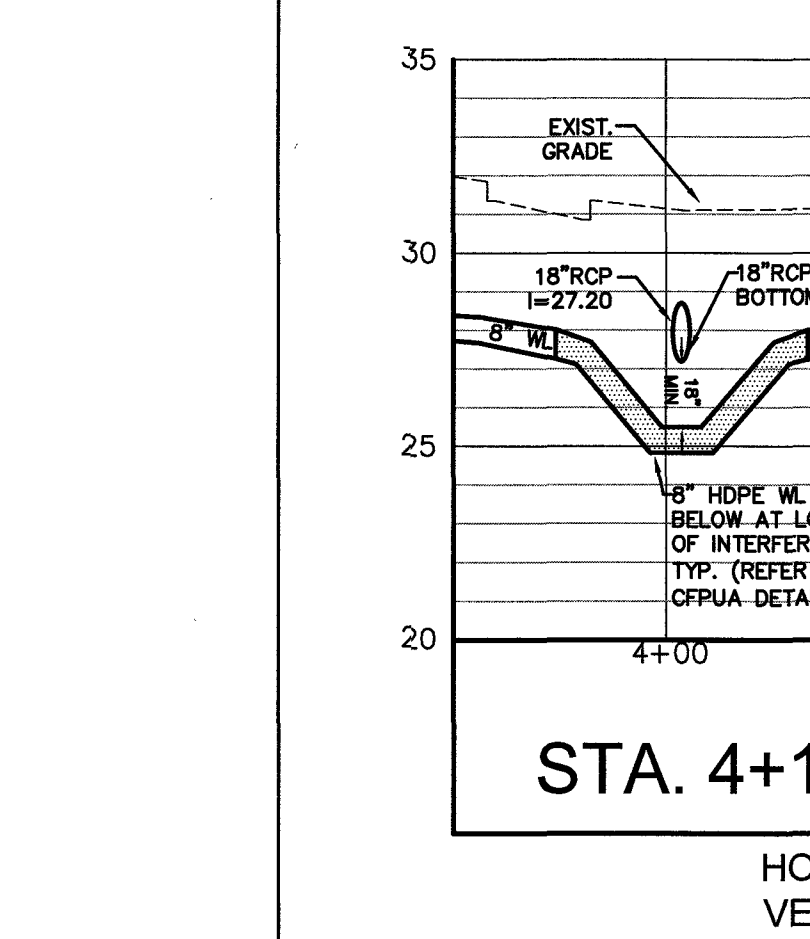
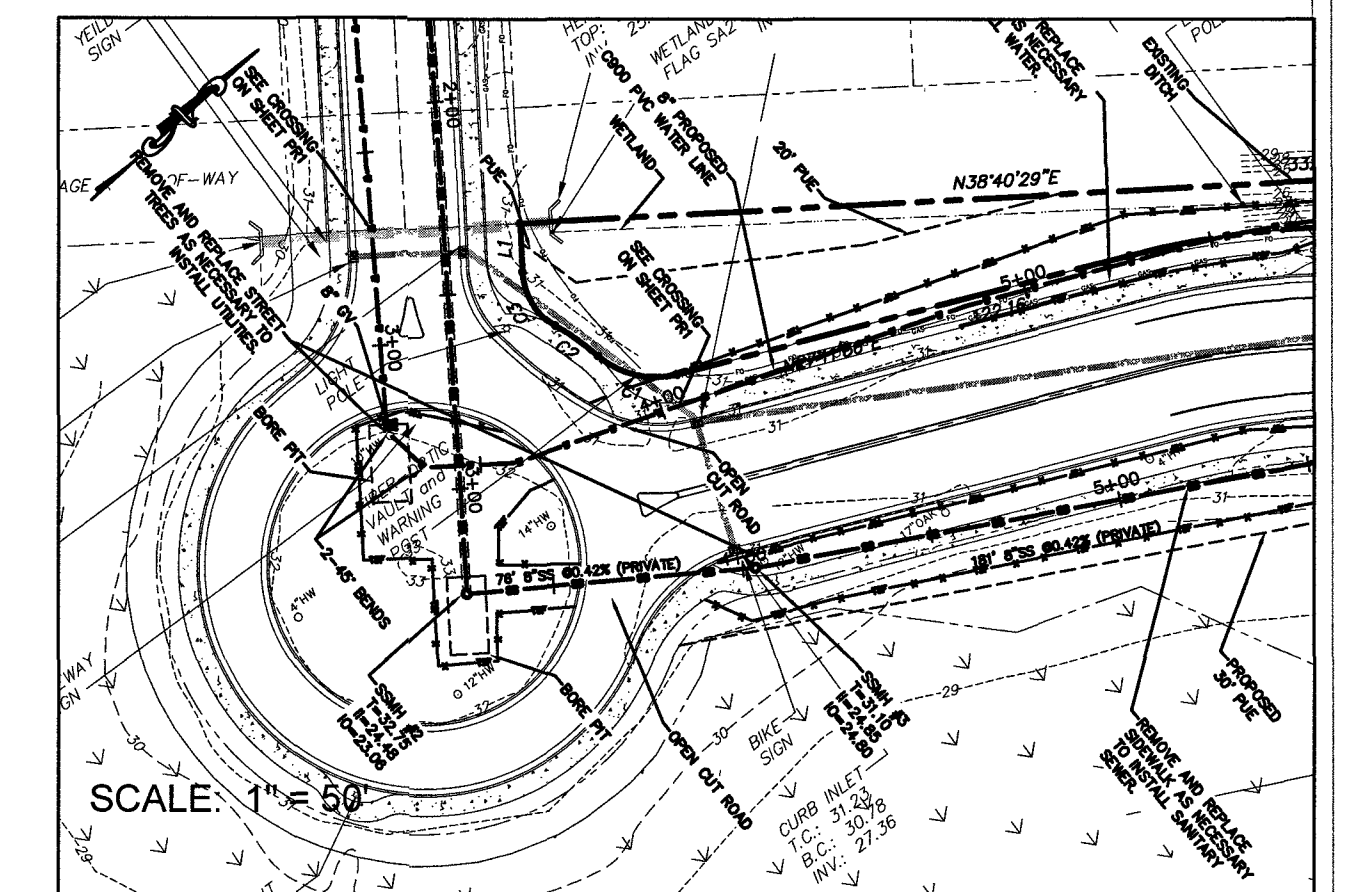
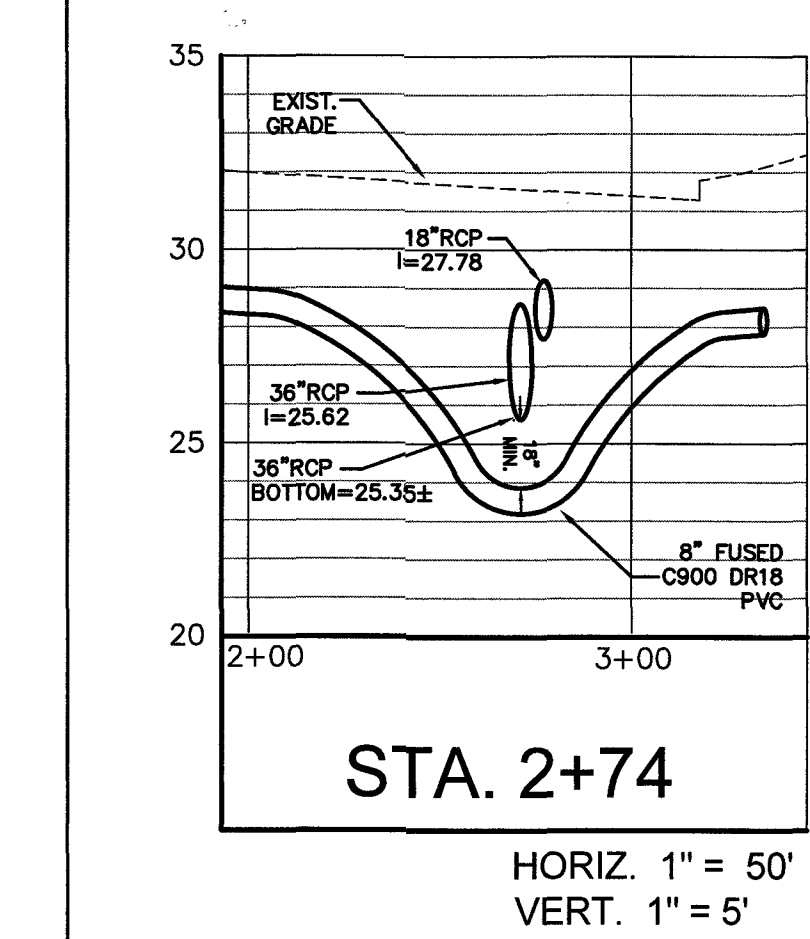
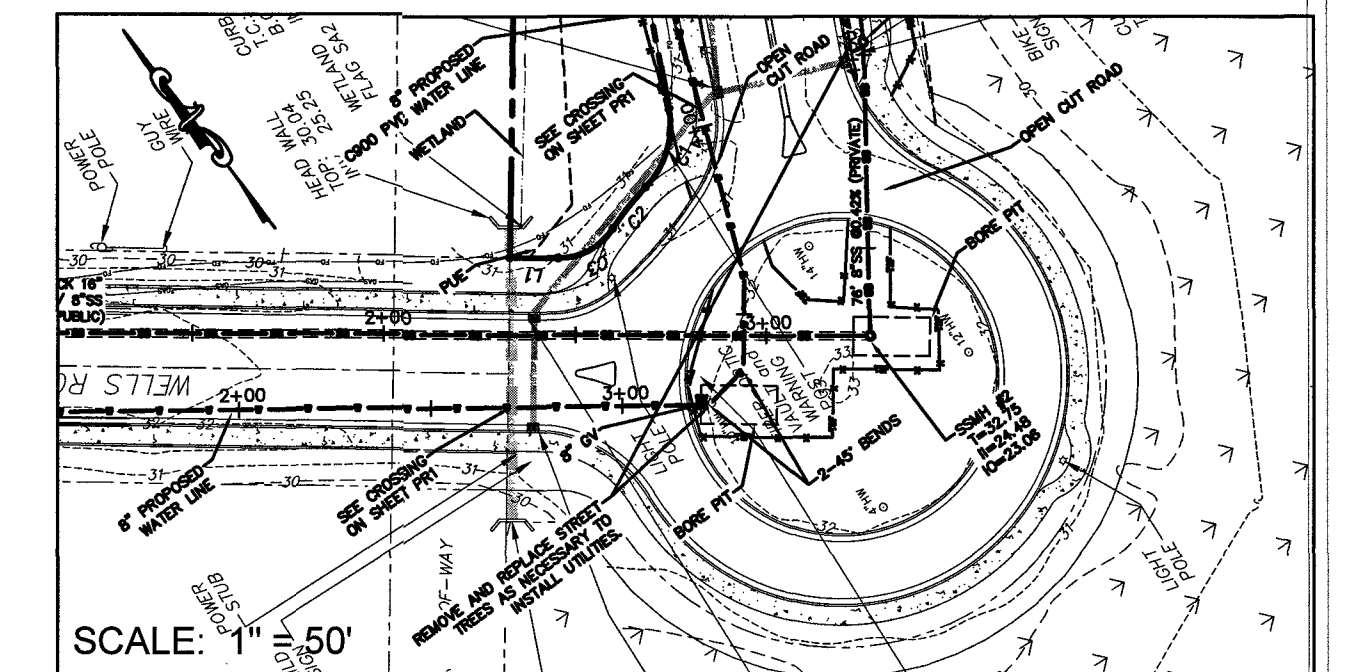
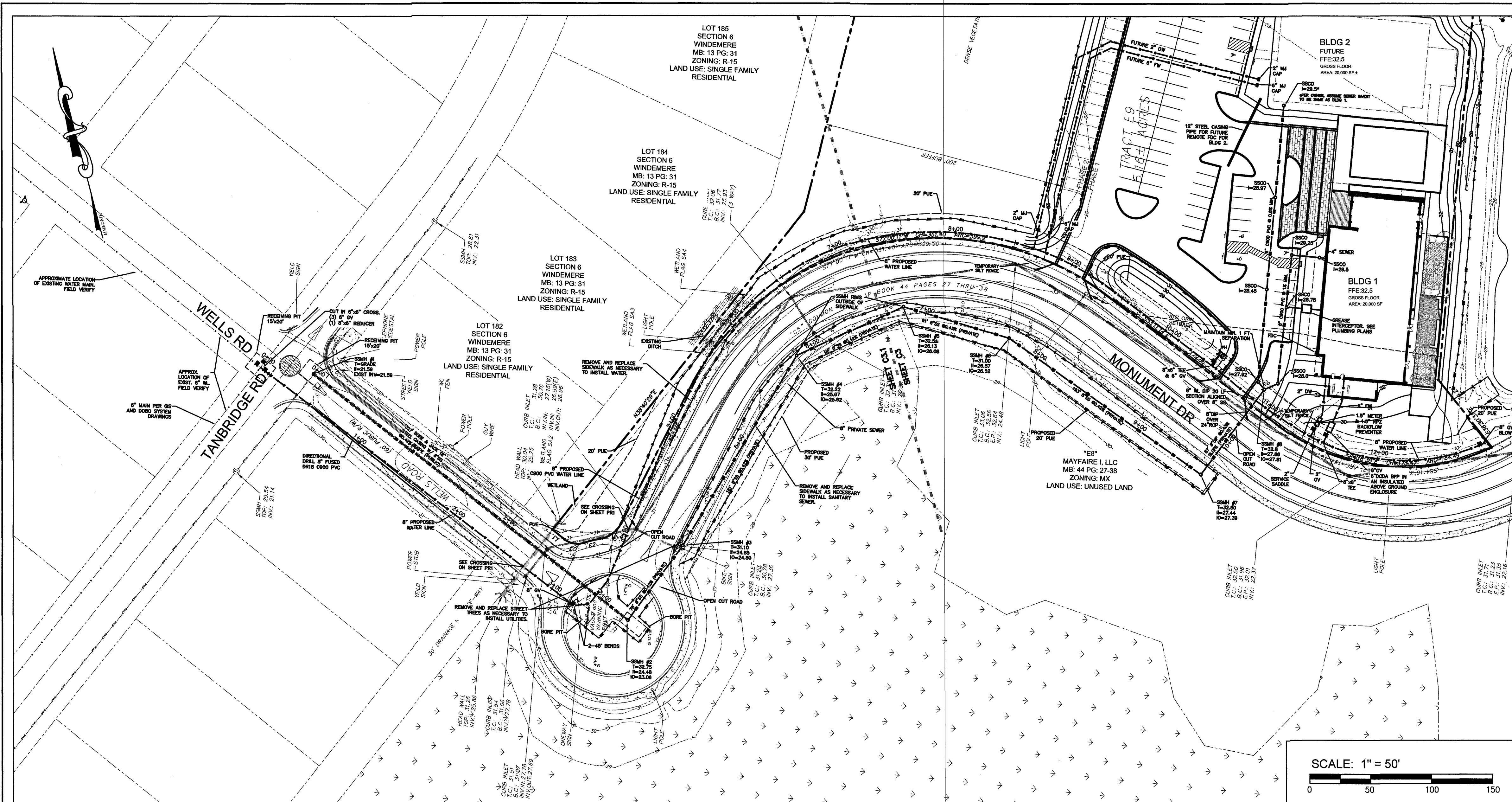
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 By Jeff Walton at 9:31 am, Apr 05, 2022



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C3.1

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REV NO.	DESCRIPTION	DATE



NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
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WILMINGTON, NC 28412
PHONE: (910) 343-9653

ZIMMER DEVELOPMENT
WATERLINE LAYOUT AND SANITARY SEWER
PLAN & PROFILE

DATE: 4/4/22
SCALE: 1" = 50'
DRAWN: RPH
CHECKED: JST
PROJECT NO: 21144

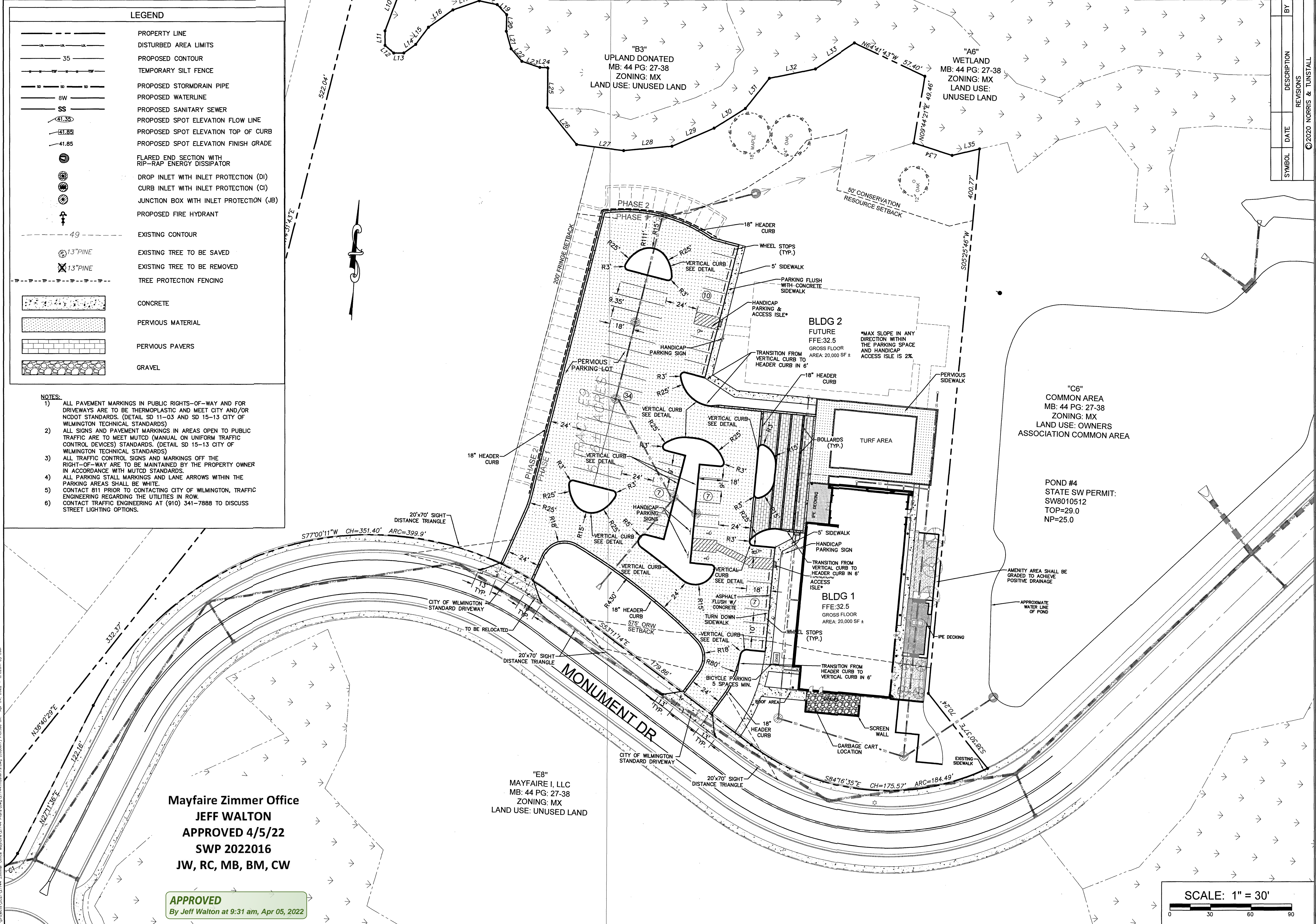
SHEET NO:
PR1

LEGEND

	PROPERTY LINE
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	PERMOUS PAVERS
	GRAVEL

NOTES:

- 1) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. (DETAIL SD 11-03 AND SD 15-13 CITY OF WILMINGTON TECHNICAL STANDARDS)
- 2) ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. (DETAIL SD 15-13 CITY OF WILMINGTON TECHNICAL STANDARDS)
- 3) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- 4) ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- 5) CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN ROW.
- 6) CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.



Mayfaire Zimmer Office
JEFF WALTON
APPROVED 4/5/22
SWP 2022016
JW, RC, MB, BM, CW

APPROVED
 By Jeff Walton at 9:31 am, Apr 05, 2022

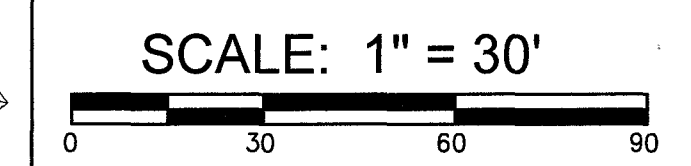
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 MAYFAIRE I, LLC
 MB: 44 PG: 27-38
 ZONING: MX
 LAND USE: UNUSED LAND

"B3"
 UPLAND DONATED
 MB: 44 PG: 27-38
 ZONING: MX
 LAND USE: UNUSED LAND

"A6"
 WETLAND
 MB: 44 PG: 27-38
 ZONING: MX
 LAND USE: UNUSED LAND

"C6"
 COMMON AREA
 MB: 44 PG: 27-38
 ZONING: MX
 LAND USE: OWNERS ASSOCIATION COMMON AREA

POND #4
 STATE SW PERMIT:
 SW8010512
 TOP=29.0
 NP=25.0



SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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LAYOUT PLAN
 ZIMMER DEVELOPMENT
 COMPANY OFFICE - MAYFAIRE
 6725 MONUMENT DRIVE
 WILMINGTON, N. C.

OWNER/DEVELOPER
 MAYFAIRE I, LLC / JEFFREY L. ZIMMER
 530 GREENVILLE BLVD. SE,
 SUITE 200
 GREENVILLE, NC 27888
 PHONE: (910) 763-4669
 EMAIL: JEFFREYZIMMER@ZDC.COM

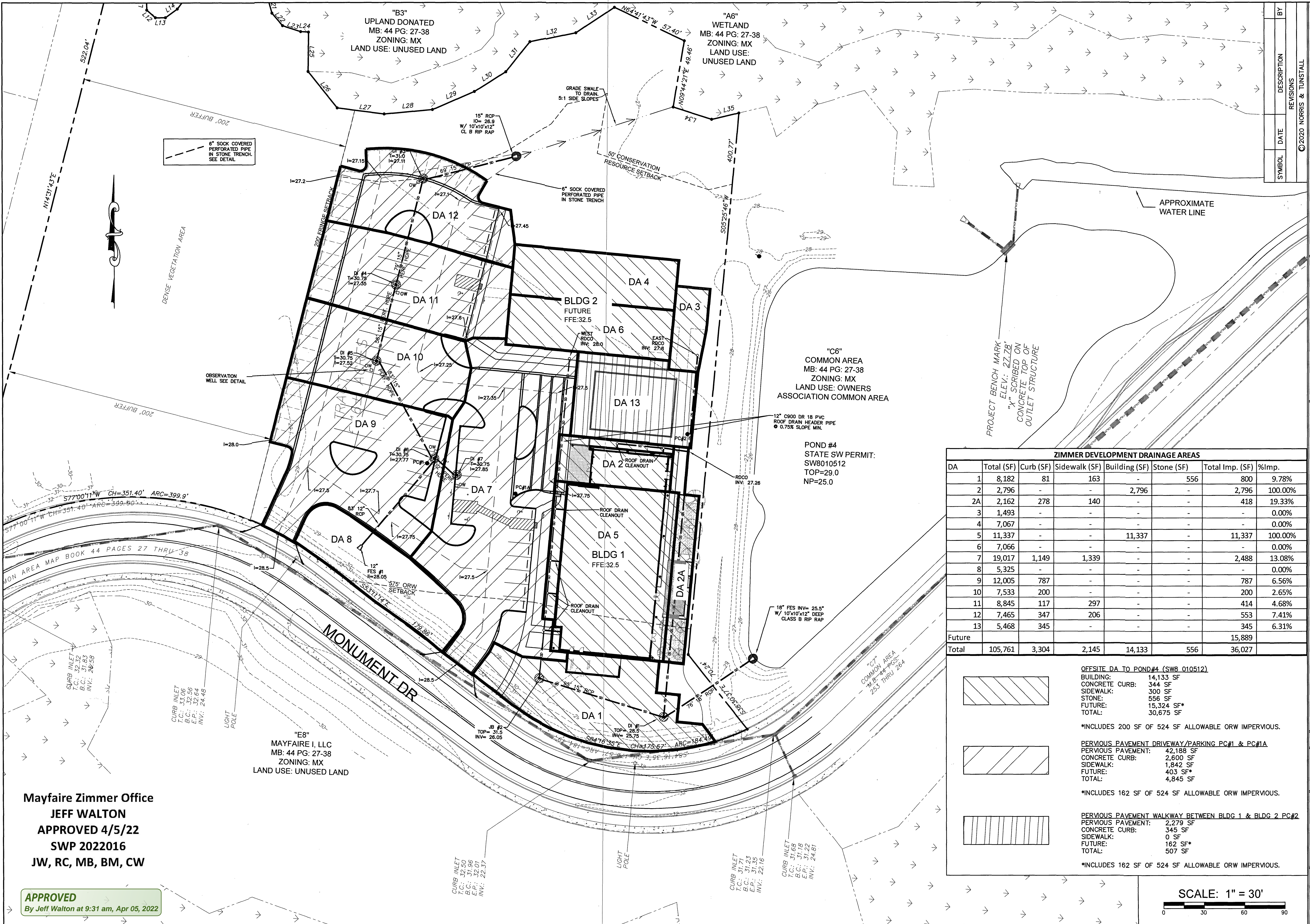
NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.
 2609 IRON GATE DR., SUITE 102
 WILMINGTON, NC 28412
 PHONE: (910) 443-9653

Licence #C-3641

21144

DES. JST
 CDR. JPN
 DRWN. RPH
 DATE 4/4/22

C4



SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
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DRAINAGE AREA PLAN
ZIMMER DEVELOPMENT
 COMPANY OFFICE - MAYFAIRE
 6725 MONUMENT DRIVE
 WILMINGTON, N. C.

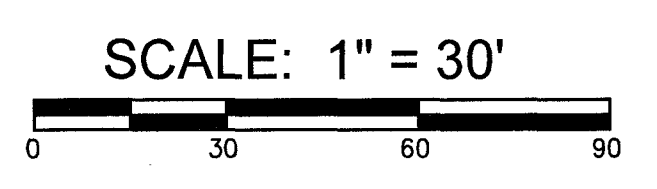
OWNER/DEVELOPER
 MAYFAIRE I, LLC / JEFFREY L. ZIMMER
 530 GREENVILLE BLVD. SE,
 SUITE 200
 GREENVILLE, NC 27658
 PHONE: (910) 763-4669
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 2609 IRON GATE DR., SUITE 102
 WILMINGTON, NC 28412
 PHONE (910) 343-9653

Licence #C-3641
21144
 DES. JUST
 CKD. JPN
 DRWN. RPH
 DATE 4/4/22

ZIMMER DEVELOPMENT DRAINAGE AREAS							
DA	Total (SF)	Curb (SF)	Sidewalk (SF)	Building (SF)	Stone (SF)	Total Imp. (SF)	%Imp.
1	8,182	81	163	-	556	800	9.78%
2	2,796	-	-	2,796	-	2,796	100.00%
2A	2,162	278	140	-	-	418	19.33%
3	1,493	-	-	-	-	-	0.00%
4	7,067	-	-	-	-	-	0.00%
5	11,337	-	-	11,337	-	11,337	100.00%
6	7,066	-	-	-	-	-	0.00%
7	19,017	1,149	1,339	-	-	2,488	13.08%
8	5,325	-	-	-	-	-	0.00%
9	12,005	787	-	-	-	787	6.56%
10	7,533	200	-	-	-	200	2.65%
11	8,845	117	297	-	-	414	4.68%
12	7,465	347	206	-	-	553	7.41%
13	5,468	345	-	-	-	345	6.31%
Future						15,889	
Total	105,761	3,304	2,145	14,133	556	36,027	

	OFFSITE DA TO POND #4 (SW8 010512) BUILDING: 14,133 SF CONCRETE CURB: 344 SF SIDEWALK: 300 SF STONE: 556 SF FUTURE: 15,324 SF* TOTAL: 30,675 SF *INCLUDES 200 SF OF 524 SF ALLOWABLE ORW IMPERVIOUS.
	PERVIOUS PAVEMENT DRIVEWAY/PARKING PC#1 & PC#1A PERVIOUS PAVEMENT: 42,188 SF CONCRETE CURB: 2,600 SF SIDEWALK: 1,842 SF FUTURE: 403 SF* TOTAL: 4,845 SF *INCLUDES 162 SF OF 524 SF ALLOWABLE ORW IMPERVIOUS.
	PERVIOUS PAVEMENT WALKWAY BETWEEN BLDG 1 & BLDG 2 PC#2 PERVIOUS PAVEMENT: 2,279 SF CONCRETE CURB: 345 SF SIDEWALK: 0 SF FUTURE: 162 SF* TOTAL: 507 SF *INCLUDES 162 SF OF 524 SF ALLOWABLE ORW IMPERVIOUS.



Mayfaire Zimmer Office
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APPROVED
 By Jeff Walton at 9:31 am, Apr 05, 2022

C5



"B3"
UPLAND DONATED
MB 44 PG 27-38
ZONING: MX
LAND USE: UNUSED LAND

"A6"
WETLAND
MB 44 PG 27-38
ZONING: MX
LAND USE: UNUSED LAND

"C1"
COMMON AREA
MB 44 PG 27-38
ZONING: MX
LAND USE: OWNERS
ASSOCIATION COMMON AREA

POND #4
STATE SW PERMIT:
SW8010512
TOP=25.0
NP=25.0

"B7"
MAYFAIRE I, LLC
MB 44 PG 27-38
ZONING: MX
LAND USE: UNUSED LAND

APPROXIMATE
WATERLINE

TOWN CENTER DR

DA POND#4

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POND#4 DRAINAGE AREA
ZIMMER DEVELOPMENT
COMPANY OFFICE - MAYFAIRE
6725 MONUMENT DRIVE
WILMINGTON, N. C.

OWNER/DEVELOPER
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GREENVILLE, NC 28420
PHONE: (910) 267-5900

Licence #C-3641

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DES. JST
CHK. JPN
DRWN. RPH
DATE 4/4/22

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APPROVED
By Jeff Walton at 9:31 am, Apr 05, 2022

--- EXISTING DRAINAGE AREA
--- PROPOSED ADDITION TO EXISTING DRAINAGE AREA

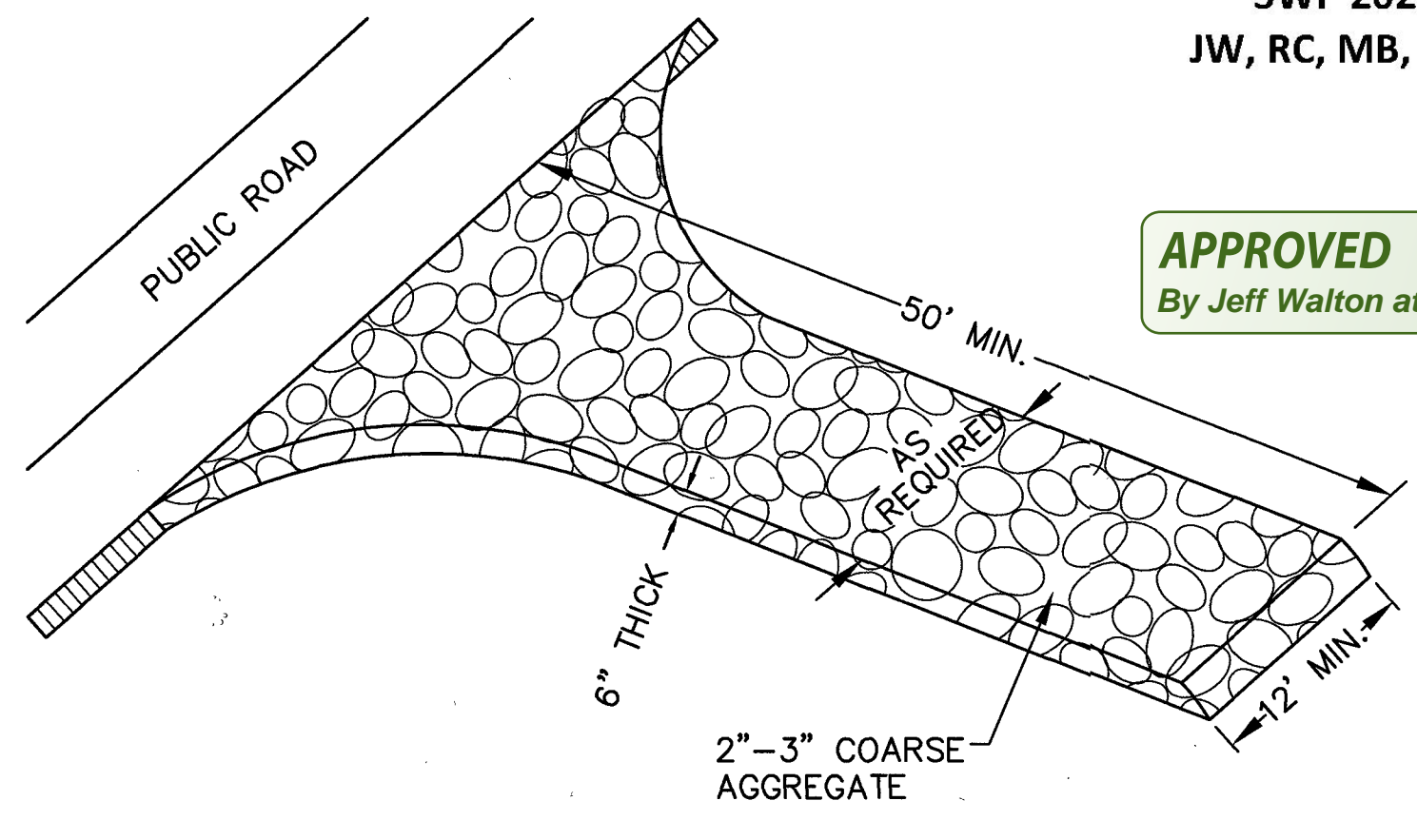
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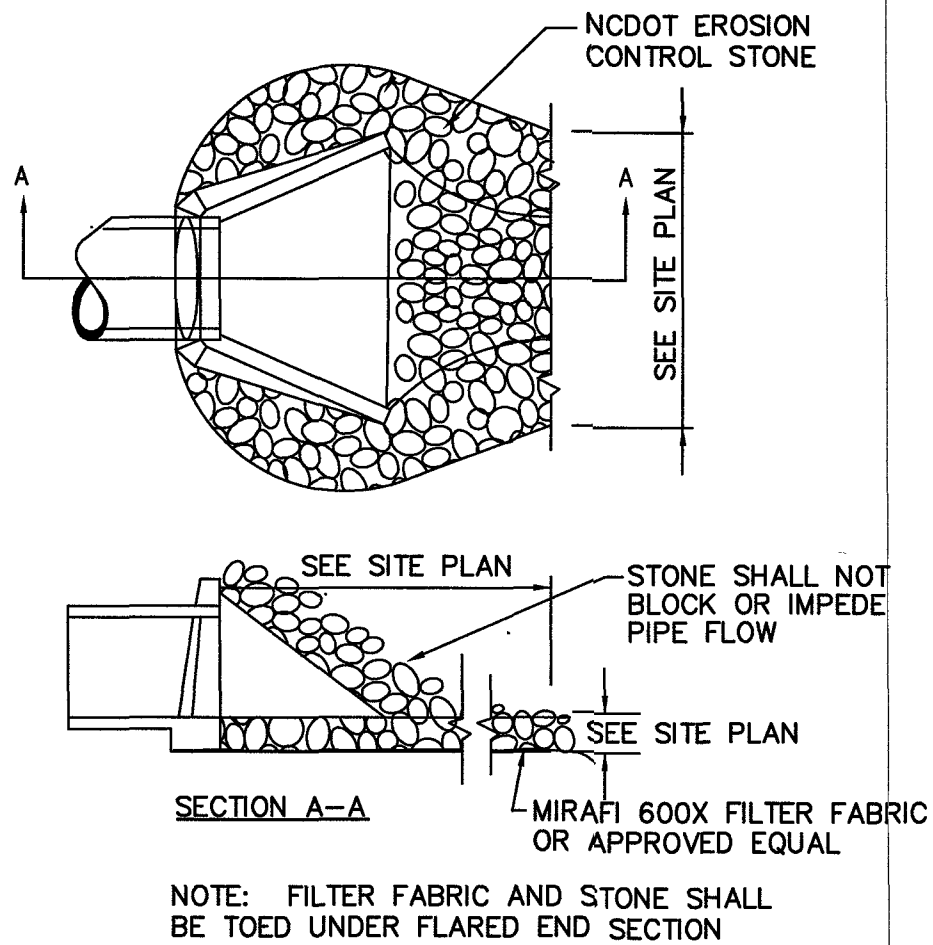
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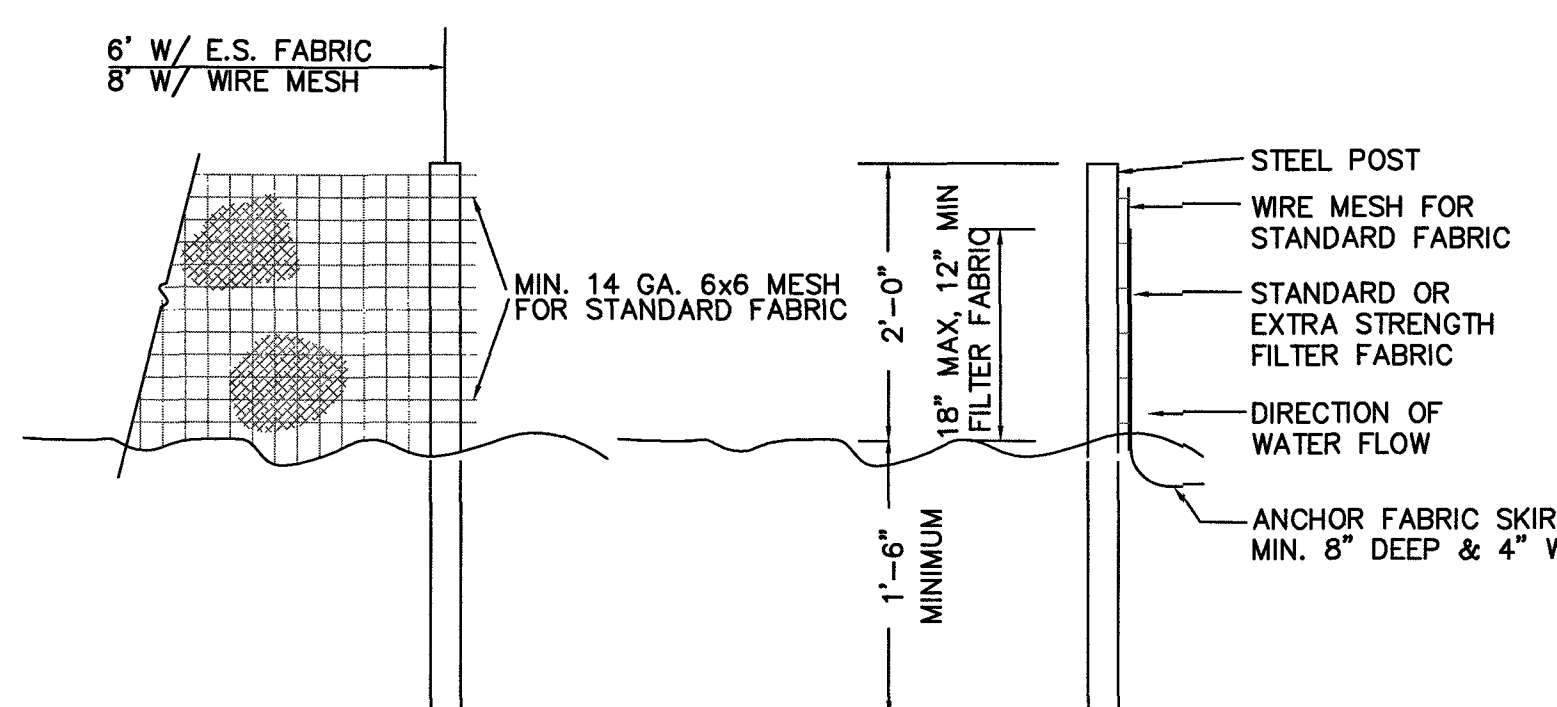
NOT TO SCALE



NOT TO SCALE

1 TEMPORARY GRAVELLED CONSTRUCTION ENTRANCE

4 ENERGY DISSIPATOR



NOT TO SCALE

SKIMMER MAINTENANCE NOTES:

- INSPECT SKIMMER SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (ON-HALF INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY.
- IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MAKE THE SKIMMER BOB UP AND DOWN AND DISLODGE THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE THE DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED; IF SO REMOVE THE DEBRIS.
- IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE ORIFICE CAN BE REMOVED AND THE OBSTRUCTION CLEARED WITH A PLUMBER'S SNAKE OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE ORIFICE BEFORE REPOSITIONING THE SKIMMER.
- FREEZING WEATHER CAN RESULT IN ICE FORMING IN THE BASIN. SOME SPECIAL PRECAUTIONS SHOULD BE TAKEN IN THE WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.

SKIMMER NOTE:
 SKIMMER MUST FLOAT ON TOP OF WATER TO WORK PROPERLY. CONTRACTOR SHALL VERIFY THAT THE BARREL LENGTH WILL ALLOW SKIMMER TO FLOAT AT EMERGENCY SPILLWAY ELEVATION.

NOT TO SCALE

2 TEMPORARY SILT FENCE

5 FAIRCLOTH STANDARD SKIMMER DETAIL

CONSTRUCTION SEQUENCE:

- UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
- DRIVE 5" STEEL POST 2' INTO THE GROUND SURROUNDING THE INLET. SPACE POST EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4' APART.
- SURROUND THE POST WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POST AT THE TOP, MIDDLE AND BOTTOM. PLACING A 2' FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
- PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16" TO 18" AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
- ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
- COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUNDCOVER.

MAINTENANCE:
 INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REMOVE SEDIMENT WHEN ACCUMULATION REACHES HALF THE DEPTH OF ROCK. REPLACE STONE WHEN IT NO LONGER DRAINS AS DESIGNED.

NOT TO SCALE

Typical Wattle Installation Guide

Entrenchment Detail

- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2-3" (5-7.5 CM) DEEP X 9" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
- PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPSLOPE SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
- SECURE THE WATTLE WITH 18-24" (45.7-61 CM) STAKES EVERY 3-4' (0.9 - 1.2 M) AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3" (5-7.5 CM) OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.

MAINTENANCE:
 INSPECT WATTLE WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT (1/2 INCH OR GREATER). REMOVE ACCUMULATED SEDIMENT AND ANY DEBRIS. THE WATTLE MUST BE REPLACED IF CLOGGED OR TORN. IF PONDING BECOMES EXCESSIVE, THE WATTLE MAY NEED TO BE REPLACED WITH A LARGER DIAMETER OR A DIFFERENT MEASURE. THE SOCK NEEDS TO BE REINSTALLED IF UNDERMINED OR DISLODGED. THE WATTLE SHALL BE INSPECTED UNTIL LAND DISTURBANCE IS COMPLETE AND THE AREA ABOVE THE MEASURE HAS BEEN PERMANENTLY STABILIZED.

NOT TO SCALE

3 HARDWARE CLOTH AND GRAVEL INLET PROTECTION

5 WATTLE DETAIL

SITE WORK NOTES:

- THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH FIELD CONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL COORDINATE WORK WITHIN NCDOT AND LOCAL RIGHT OF WAYS WITH PROPER AUTHORITIES AND SHALL MEET ANY REQUIREMENTS AS TO TRAFFIC CONTROL AND CONNECTION TO EXISTING STREETS.
- CLEARING AND GRUBBING: REMOVE ALL TREES AS REQUIRED UNLESS OTHERWISE NOTED TO REMAIN, STUMPS, ROOTS, SHRUBBERY, ASPHALT, CONCRETE, STRUCTURES, BURIED UTILITIES, STORAGE TANKS, ETC. WITHIN LIMITS OF CONSTRUCTION.
- STRIPPING: BEFORE EXCAVATING OR FILLING, REMOVE ALL TOPSOIL, WOOD, LEAVES, AND ANY OTHER UNSUITABLE MATERIAL.
- MUCKING: REMOVE ANY SOFT, ORGANIC SILT MATERIALS AND EXISTING BURIED CONSTRUCTION DEBRIS AS REQUIRED AND FILL TO SUBGRADE ELEVATIONS WITH A CLEAN SELECT-FILL COMPACTED AS SPECIFIED.
- DISPOSAL: CLEARED, GRUBBED, STRIPPED OR EXCAVATED SPOIL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.
- BORROW MATERIAL: THE CONTRACTOR SHALL FURNISH BORROW MATERIAL REQUIRED FROM OFF SITE AND OBTAIN ALL REQUIRED PERMITS ASSOCIATED WITH BORROW OPERATIONS.
- FILL AND COMPACTION: AFTER STRIPPING THOSE AREAS DESIGNATED TO RECEIVE FILL SHOULD BE PROOFOILED. THE TOP 8" OF SUBGRADE SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. ANY AREA WHICH PUMPS OR RUTS EXCESSIVELY SHOULD BE UNDERCUT AND REPLACED WITH A CLEAN, SILTY OR CLAYEY SAND HAVING A UNIFIED SOIL CLASSIFICATION OF SP, SM, OR SC. FILL MATERIAL 5" OUTSIDE OF BUILDING AREAS SHALL THEN BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. FILL MATERIALS WITHIN BUILDING AREAS TO A LINE OUTSIDE THE BUILDING AREAS SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IN AREAS WHERE NO STRUCTURAL FILL IS TO BE PLACED THE UPPER 12 INCHES OF IN-PLACE SUBGRADE SHOULD BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IF THE MATERIAL IS TOO DRY TO COMPACT TO THE REQUIRED DENSITY EACH LAYER SHALL BE WETTED IN ACCORDANCE WITH COMPACTION REQUIREMENTS. IF THE MATERIAL IS TOO WET TO SECURE PROPER COMPACTION, IT SHALL BE HARROWED REPEATEDLY OR OTHERWISE AERATED WITH SUITABLE EQUIPMENT UNTIL OPTIMUM MOISTURE CONTENT IS OBTAINED. FILL SHALL BE PLACED IN SUCH A MANNER THAT THE SURFACE WILL DRAIN READILY AT ALL TIMES. SEE STRUCTURAL NOTES AND SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
- LAYOUT: THE CONTRACTOR SHALL PROVIDE ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.
- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION FROM SURVEY BY MICHAEL UNDERWOOD & ASSOCIATES, AND PROVIDED BY OWNER.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF RELOCATION OR DISCONNECTION OF ALL EXISTING UTILITIES WITH APPLICABLE AGENCIES AND AUTHORITIES.
- ALL PAVEMENT AND BASE MATERIALS AND WORKMANSHIP SHALL CONFORM TO NCDOT STANDARDS.
- WATER AND SEWER SERVICES SHALL BE INSTALLED TO MEET LOCAL AND STATE PLUMBING CODES. METER AND TAPS SHALL MEET ALL LOCAL REQUIREMENTS.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE.
- SEE SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL NOTE THAT EARTHWORK QUANTITIES ARE HIS RESPONSIBILITY. PLANS DO NOT REPRESENT A BALANCED EARTHWORK CONDITION.
- REINF. CONC. PIPE SHALL BE CLASS III W/RUBBER GASKETED JOINT OR "RAM NECK". INSTALL PER MANUFACTURER'S REQUIREMENTS.
- USE WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL BE A CHLORINATED RUBBER ALKYL, FS IT-P-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON-BLEEDING.
- REFER TO THE PLUMBING DRAWINGS FOR LOCATION AND INVERTS OF NEW WASTE, WATER AND ROOF DRAIN LINES.

FIRE AND LIFE SAFETY NOTES:

- FIRE HYDRANTS MUST BE WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION.
- THE FIRE DEPARTMENT CONNECTION MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING AND PARKING CANNOT BLOCK OR IMPEDE THE FIRE DEPARTMENT CONNECTIONS OR FIRE HYDRANTS. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT CONNECTION AND THE FIRE HYDRANT.
- FIRE HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- THE CONTRACTOR WILL MAINTAIN ALL-WEATHER EMERGENCY ACCESS TO CONSTRUCTION SITE AT ALL TIMES.
- TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
- UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF THE STRUCTURE.
- ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- THE CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SEC. 510 OF THE 2018 FIRE CODE.
- BUILDING CONSTRUCTION TYPE: II-B
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696
- ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM MUST BE ELECTRICALLY SUPERVISED.

NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. SIZE OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

NOTE: CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN. FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISBURSE, CROWN WITH INTERFERING PRUNING.

NOTE:

- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
- IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
- WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
- FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED, DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
- FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

STANDARD DETAIL
 DATE: JAN 2015
 DRAWN BY: JIB
 CHECKED BY: BOB P.E.
 SCALE: NOT TO SCALE
 WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7607
 SD 15-09

NOTE:

- THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAIL.
- SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
- ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
- TREE PROTECTION FENCING AND SIGNS SHALL BE REMOVED AFTER CONSTRUCTION.
- ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

STANDARD DETAIL
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 WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7607
 SD 15-09

CALL 811 (3) WORKING
 DAYS BEFORE YOU DIG.

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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 MAYFAIRE I, LLC / JEFFREY L. ZIMMER
 530 GREENVILLE BLVD., SE.
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NOTES & DETAILS
 ZIMMER DEVELOPMENT
 COMPANY OFFICE - MAYFAIRE
 6725 MONUMENT DRIVE
 WILMINGTON, N. C.

NORRIS & TUNSTALL
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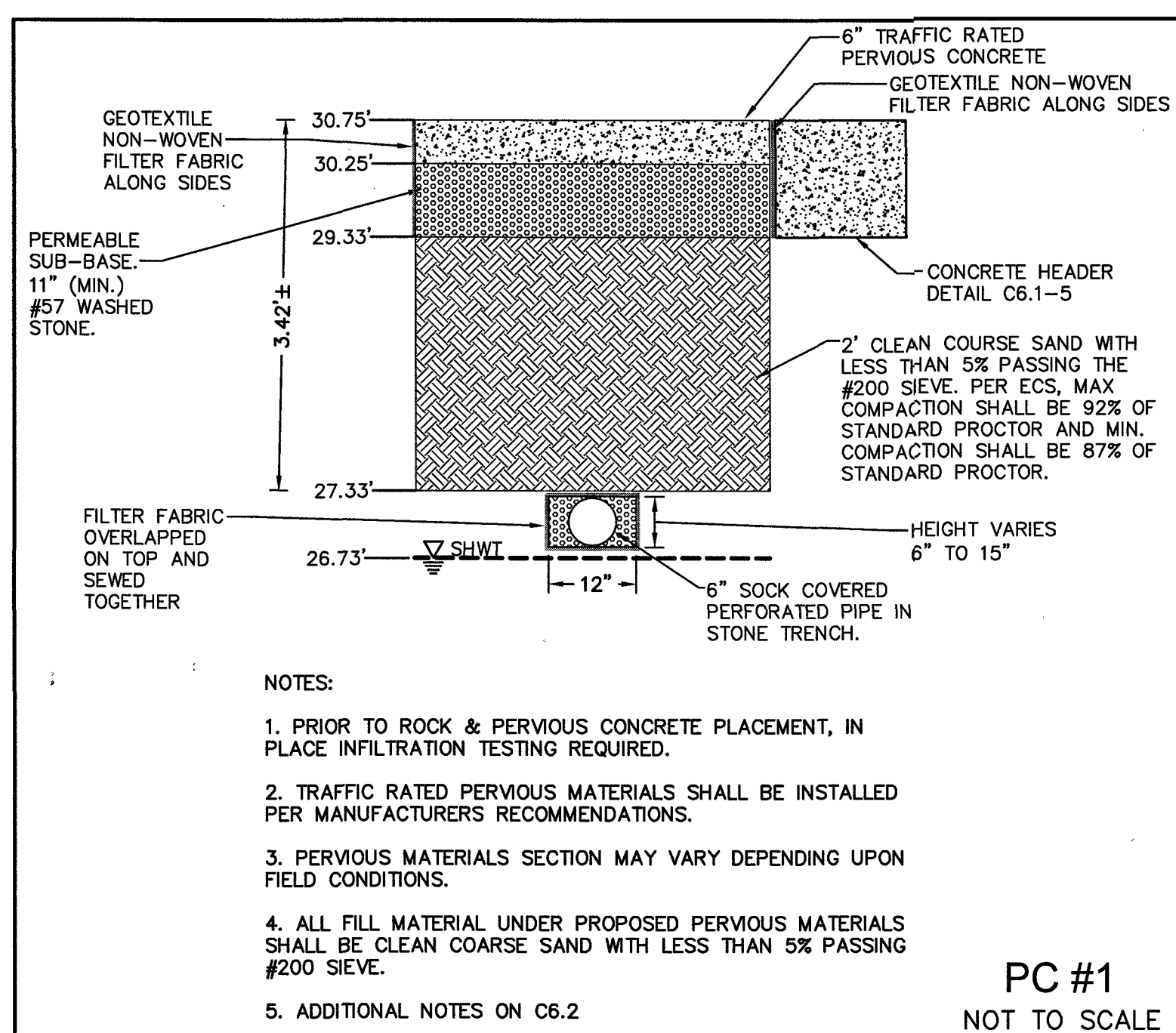
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 PHONE: (910) 287-5900

License #C-3641

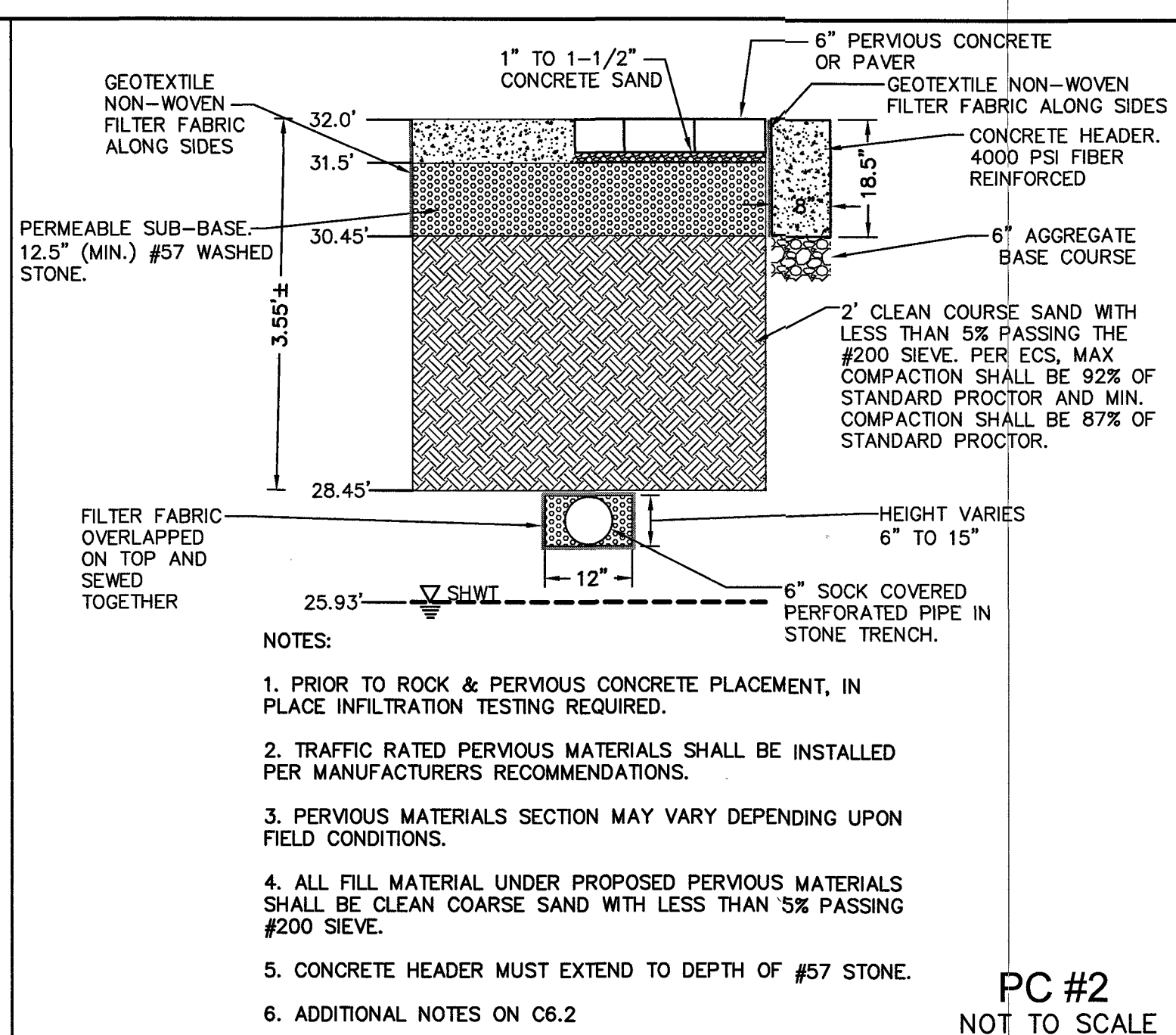
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DES. JST
 CKD. JPN
 DRWN. RPH
 DATE 4/4/22

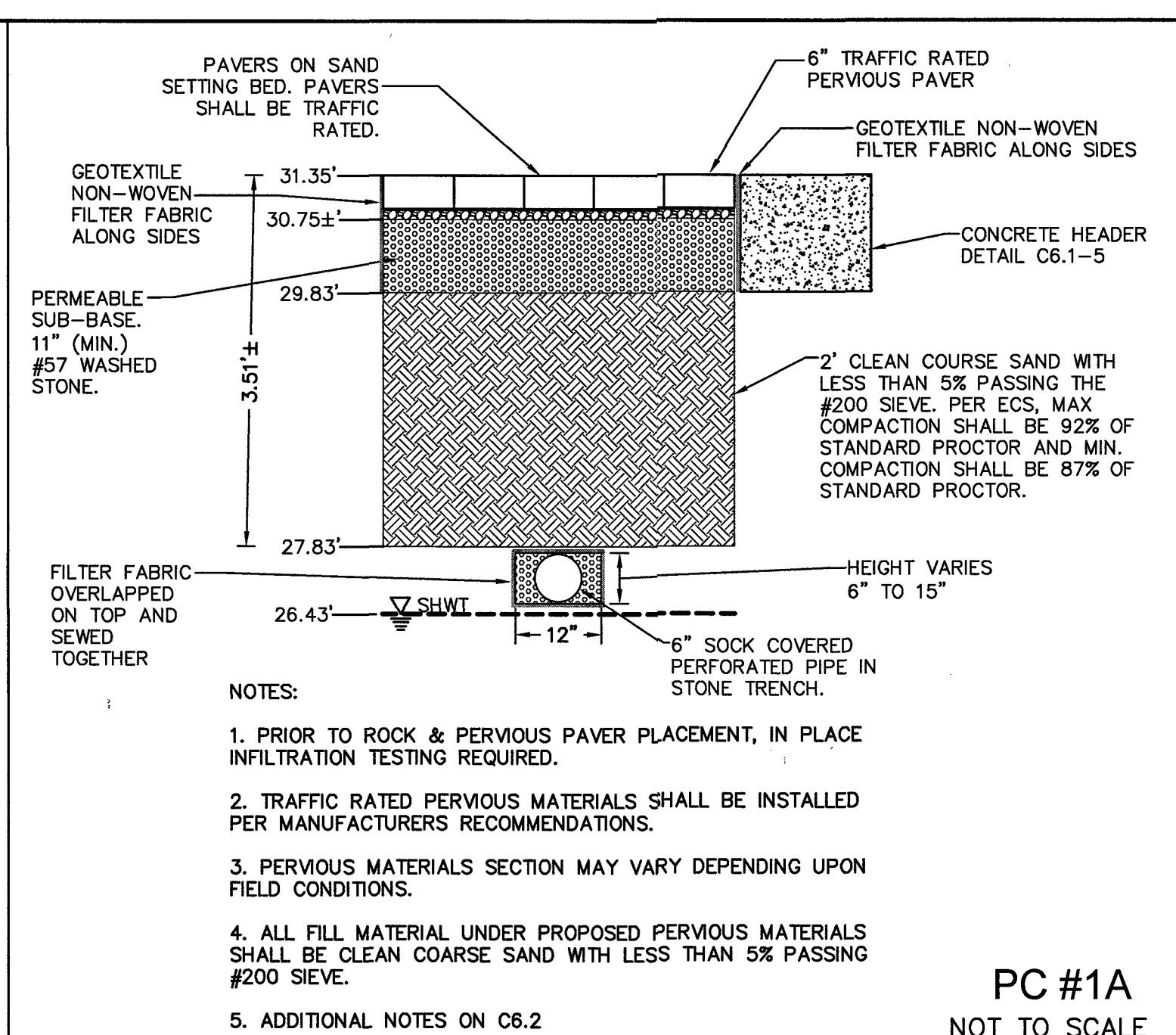
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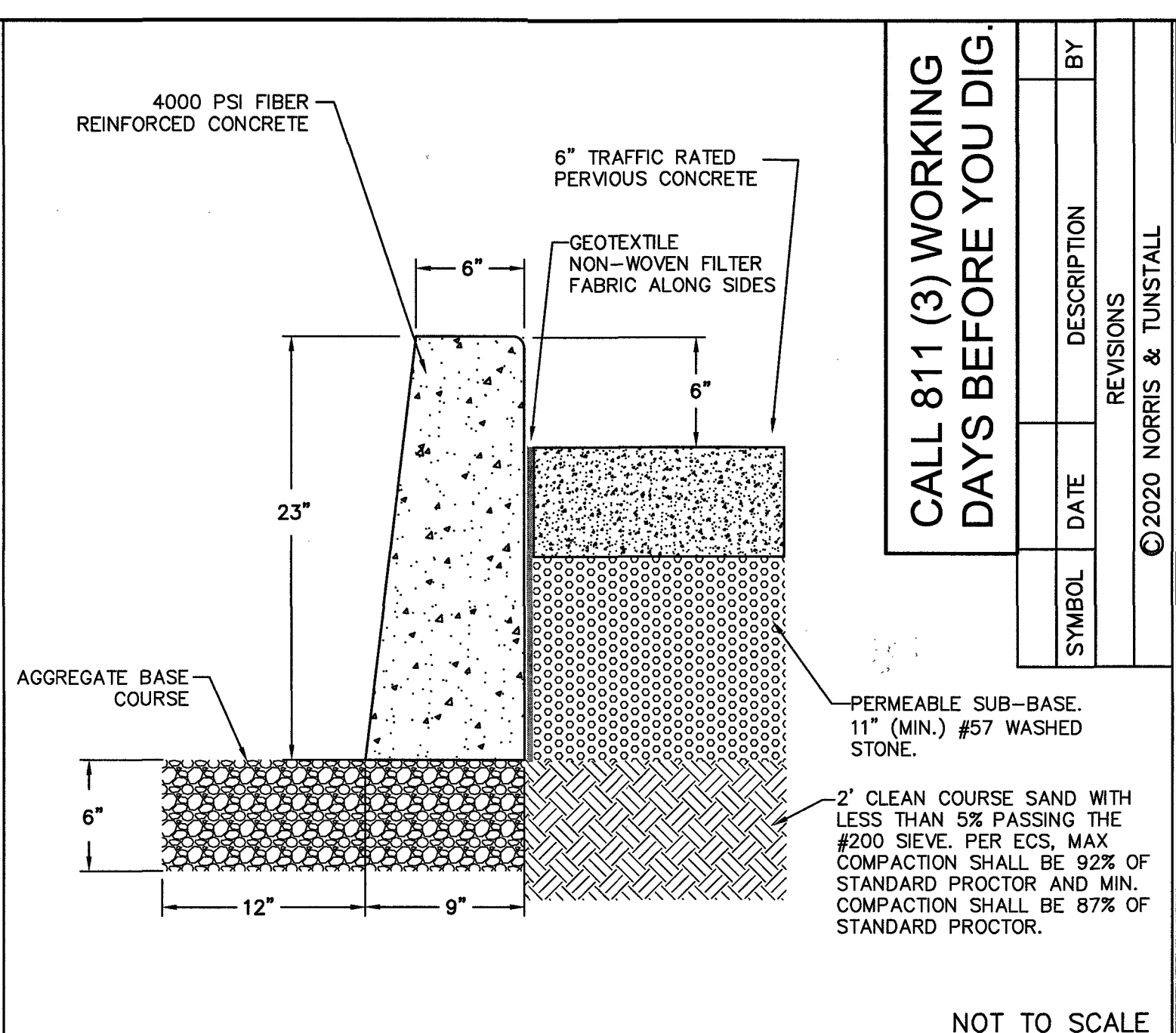
1 PERVIOUS PAVEMENT SECTION DRIVEWAY/PARKING



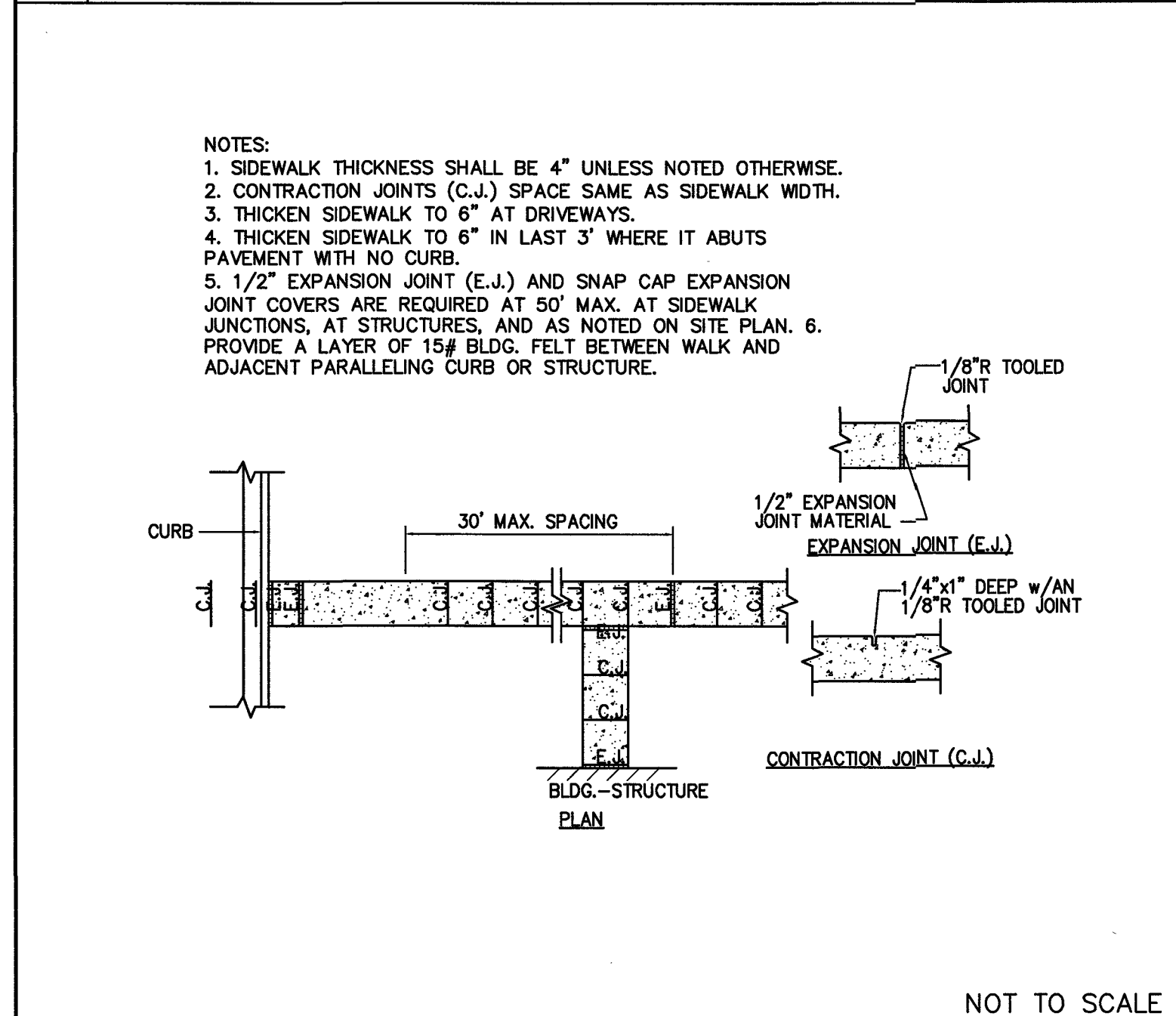
4 PERVIOUS PAVEMENT SECTION WALKWAY



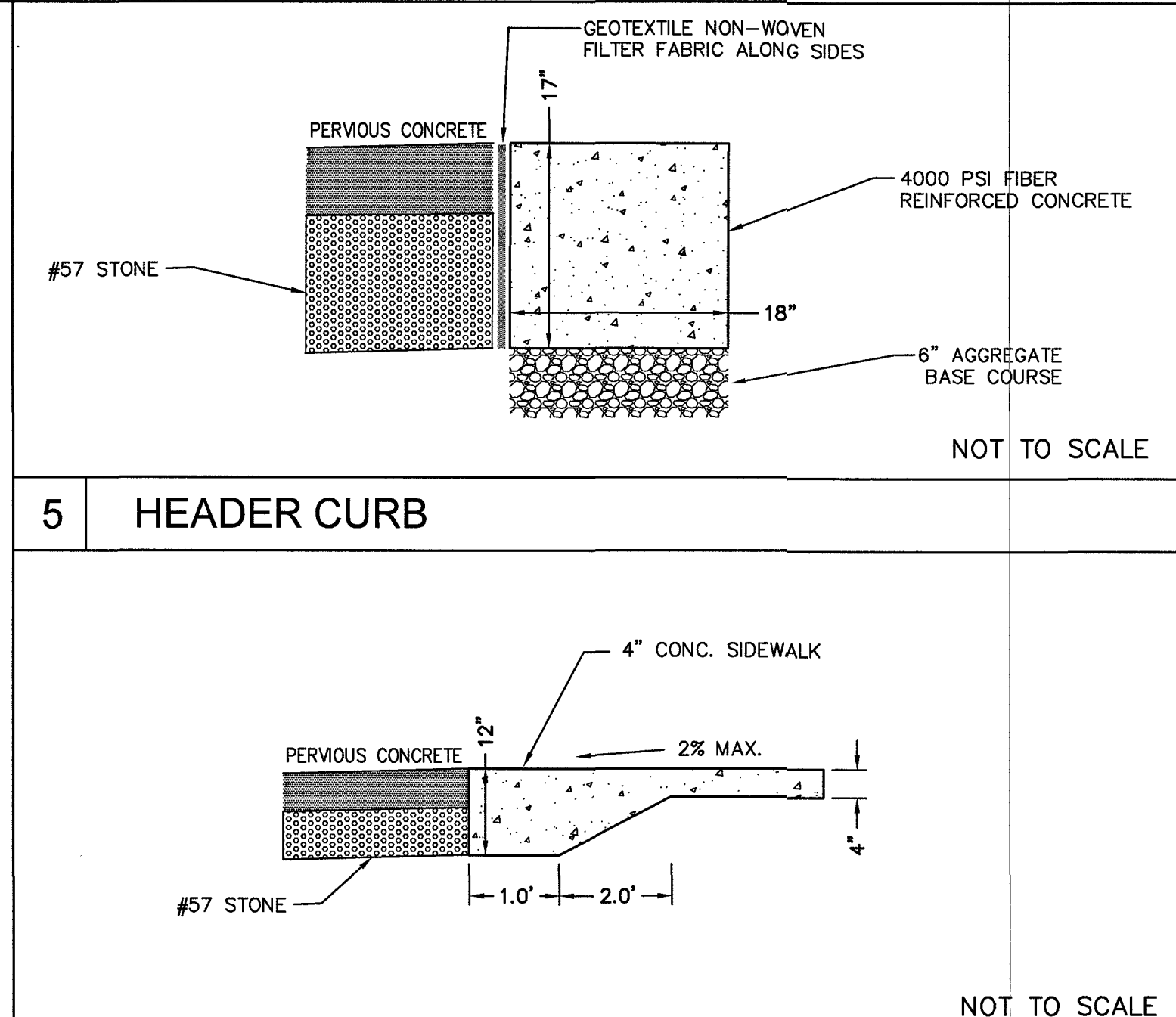
8 PERVIOUS PAVER SECTION



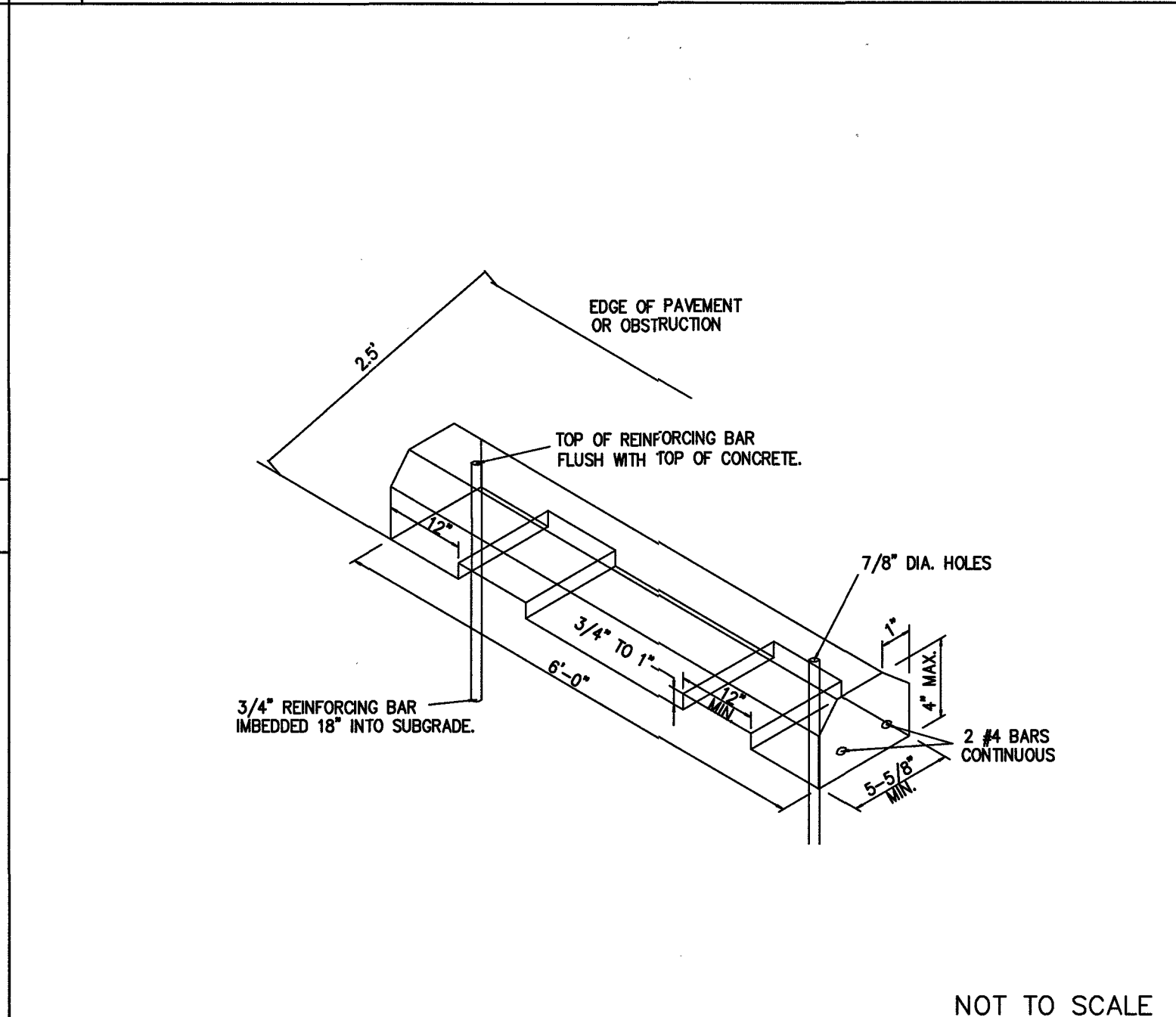
11 VERTICAL CURB



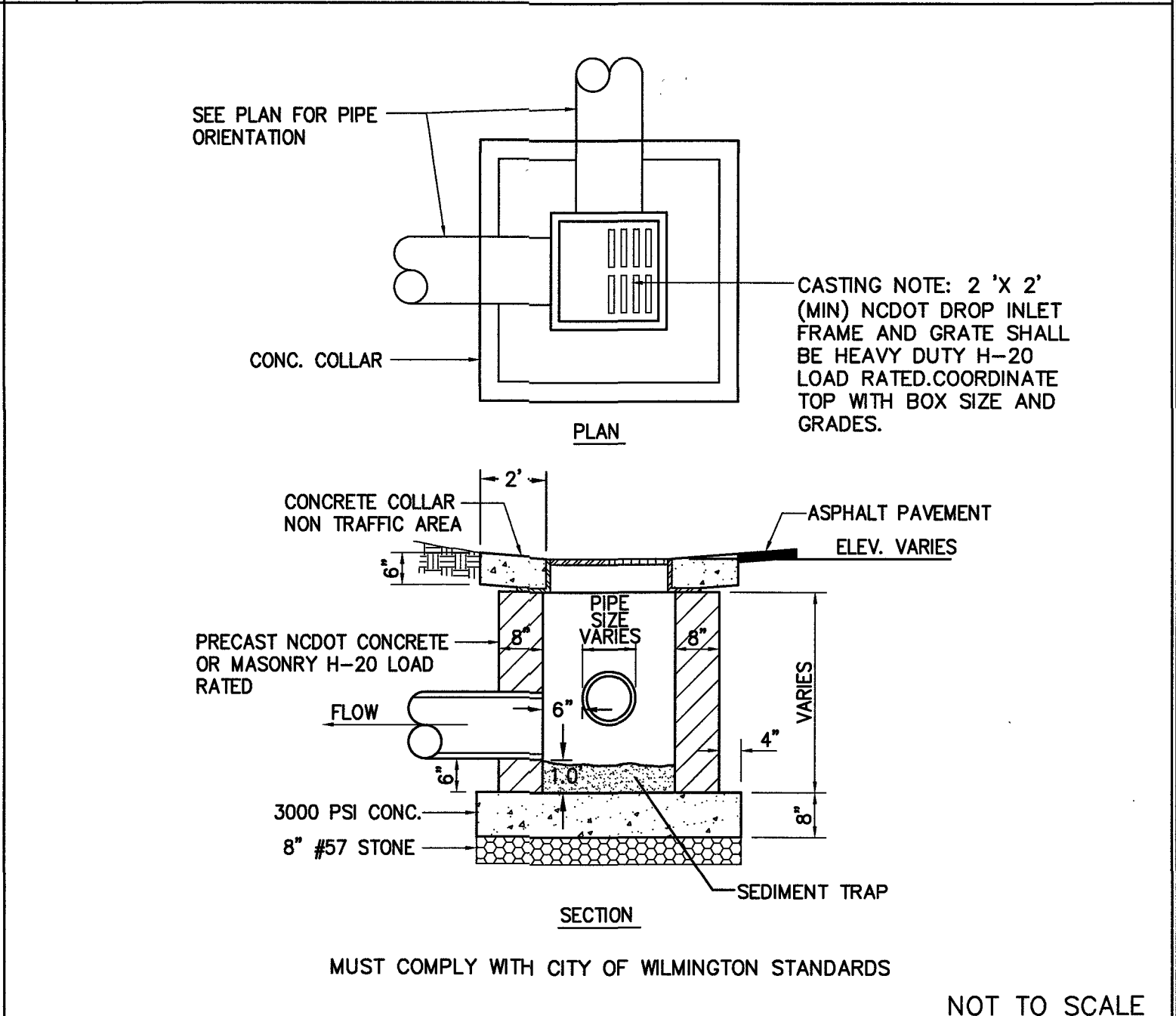
2 SIDEWALK JOINT DETAIL



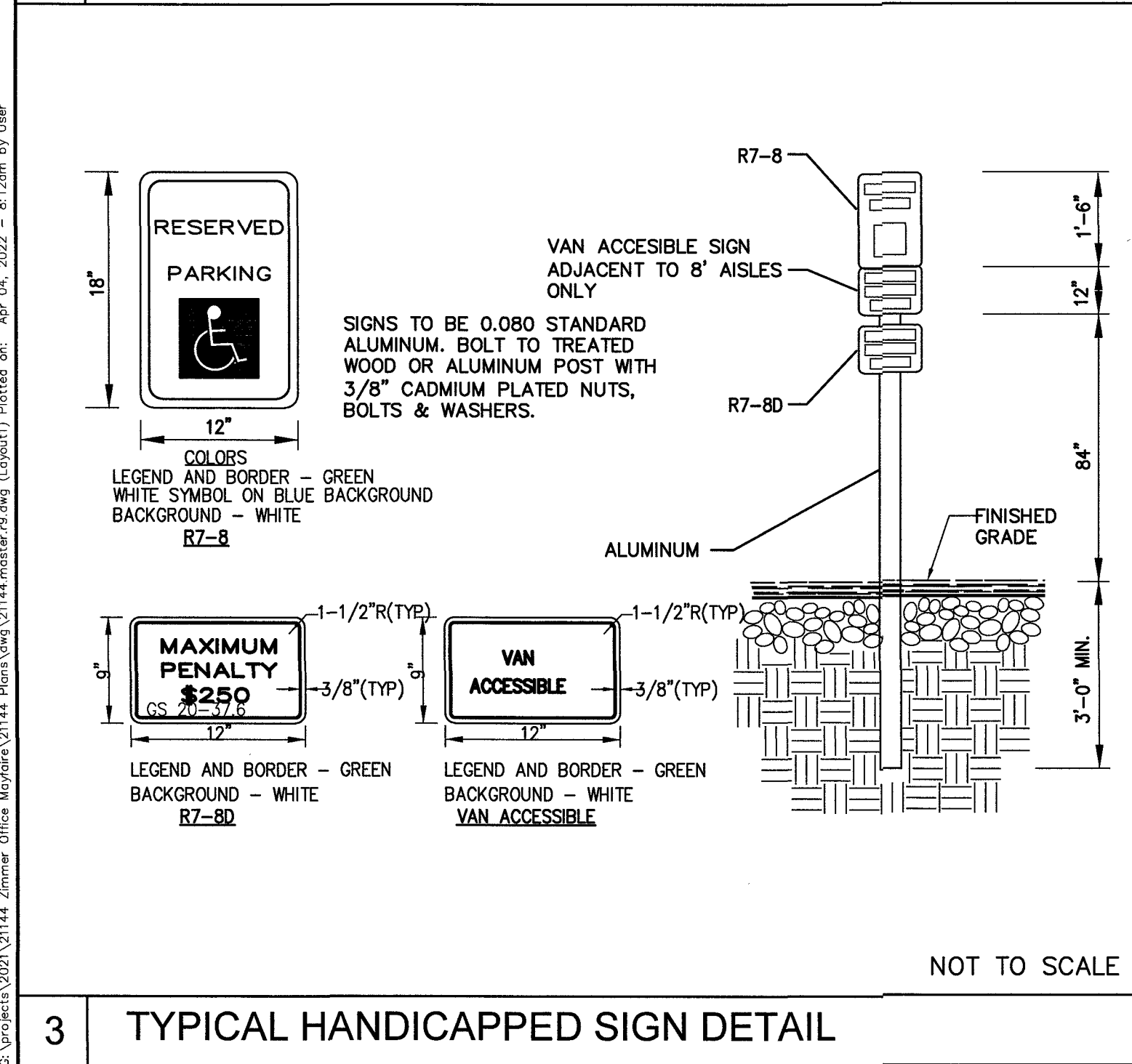
6 TURN DOWN WALK SECTION



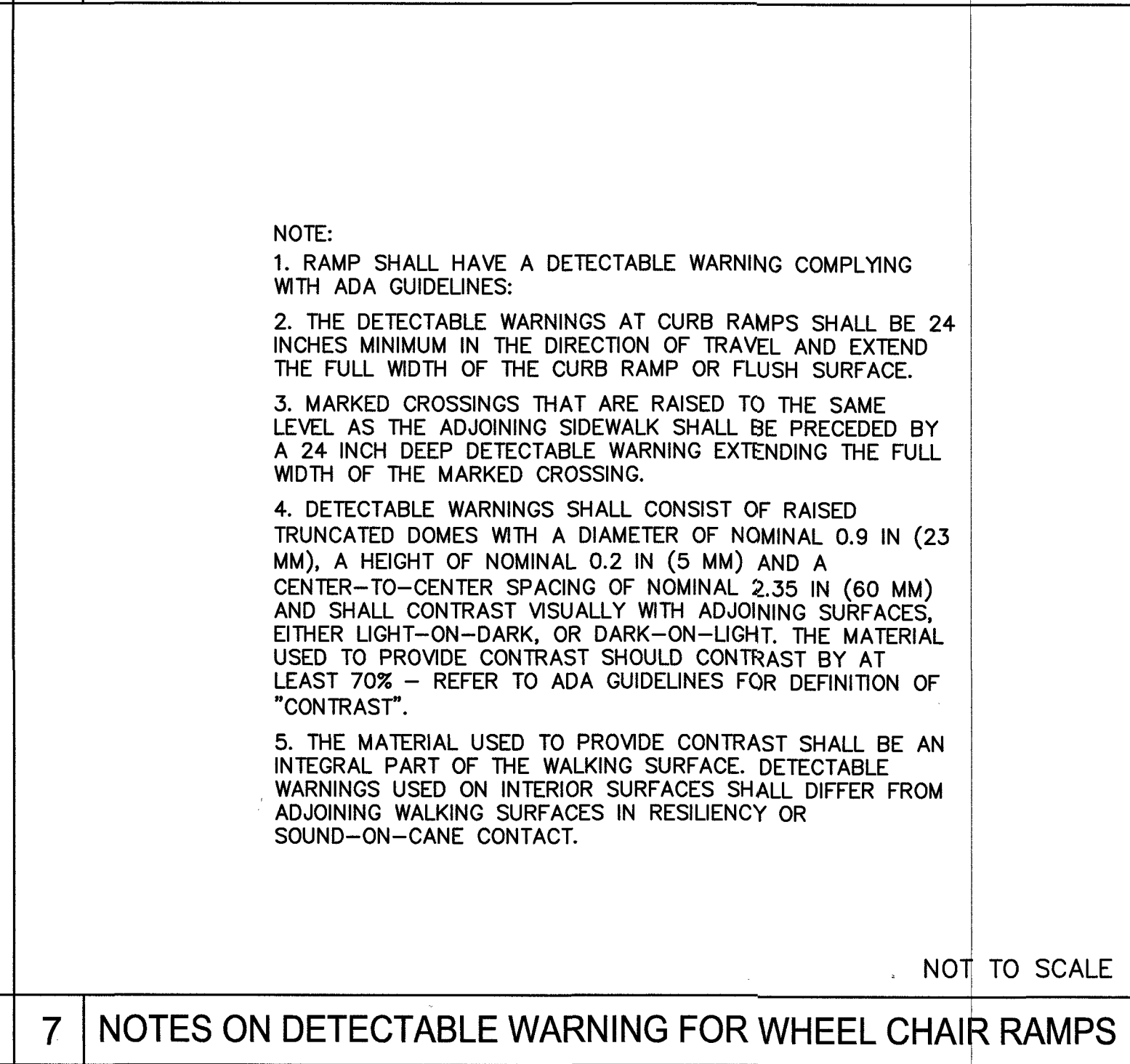
9 CONCRETE WHEELSTOP DETAIL



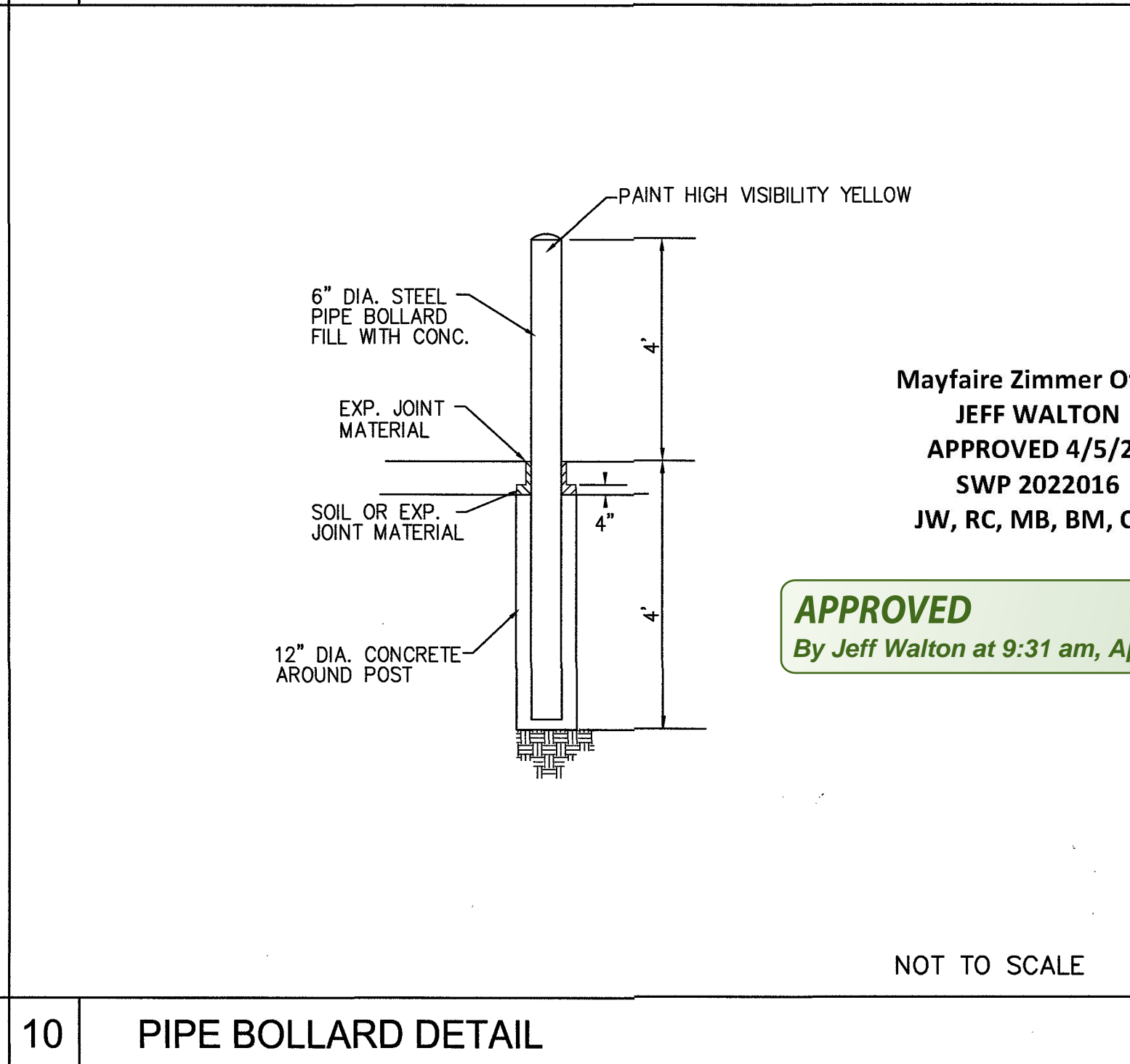
12 DROP INLET DETAIL



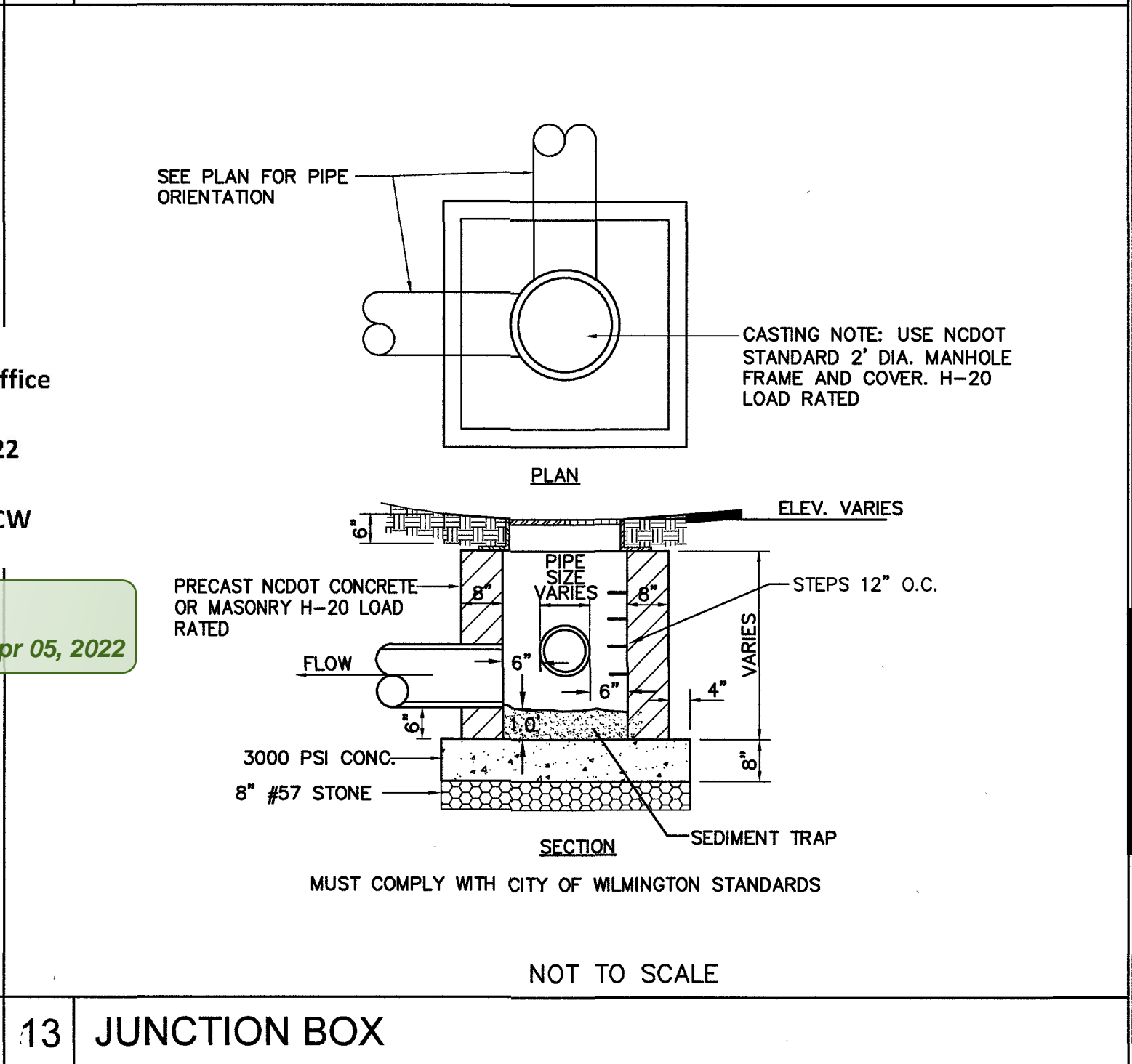
3 TYPICAL HANDICAPPED SIGN DETAIL



7 NOTES ON DETECTABLE WARNING FOR WHEEL CHAIR RAMPS



10 PIPE BOLLARD DETAIL



13 JUNCTION BOX

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

NOTES & DETAILS
ZIMMER DEVELOPMENT
COMPANY OFFICE - MAYFAIRE
6725 MONUMENT DRIVE
WILMINGTON, N. C.

OWNER/DEVELOPER
MAYFAIRE I, LLC / JEFFREY L. ZIMMER
530 GREENVILLE BLVD. SE,
SUITE 200
GREENVILLE, NC 27858
PHONE: (910) 763-4669
EMAIL: JEFFREYZIMMER@ZDC.COM

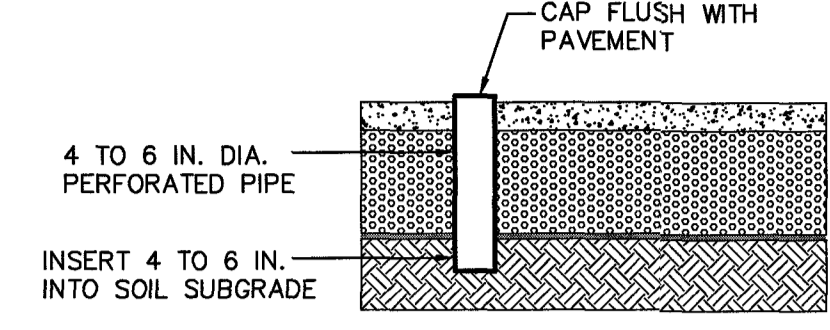
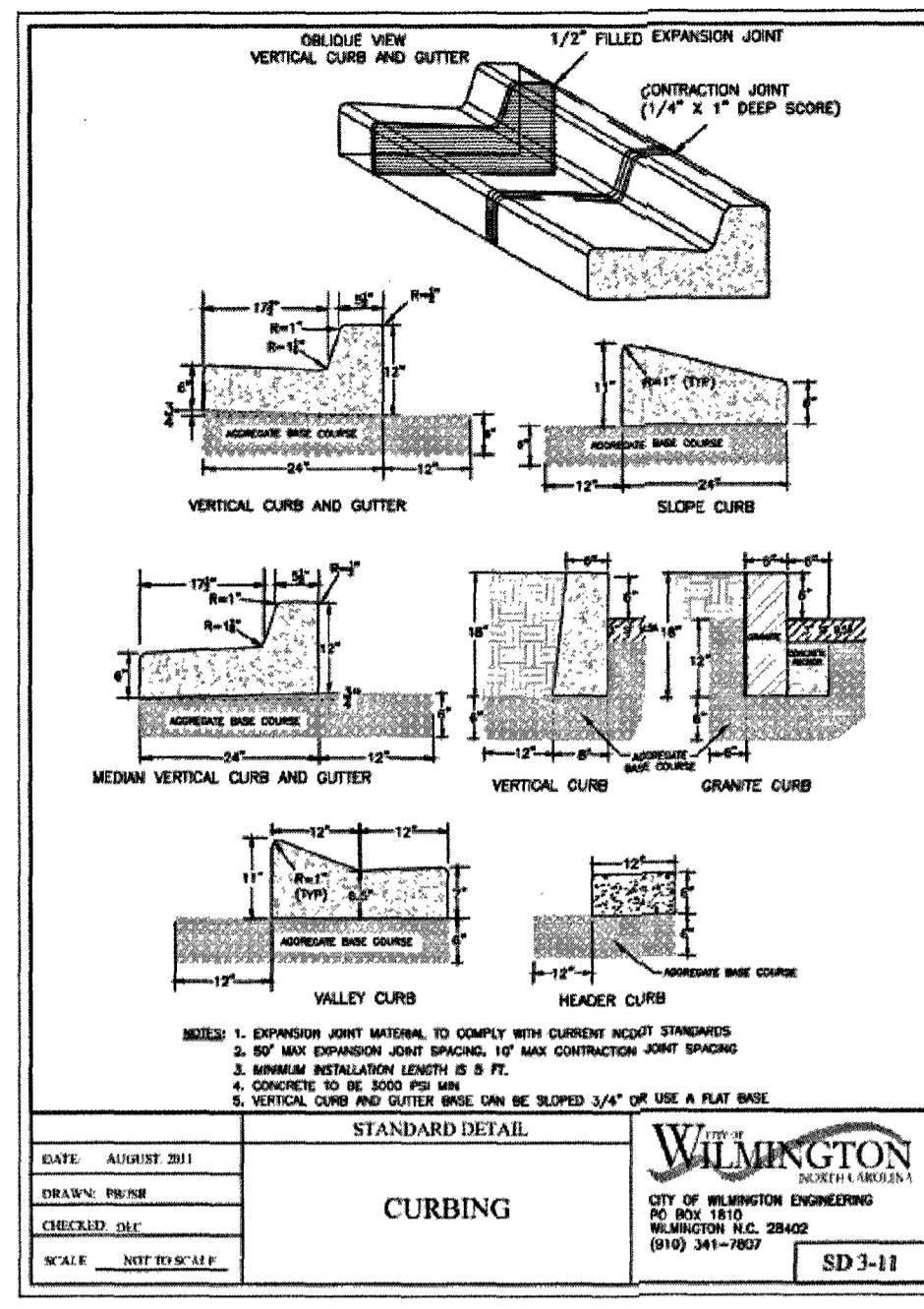
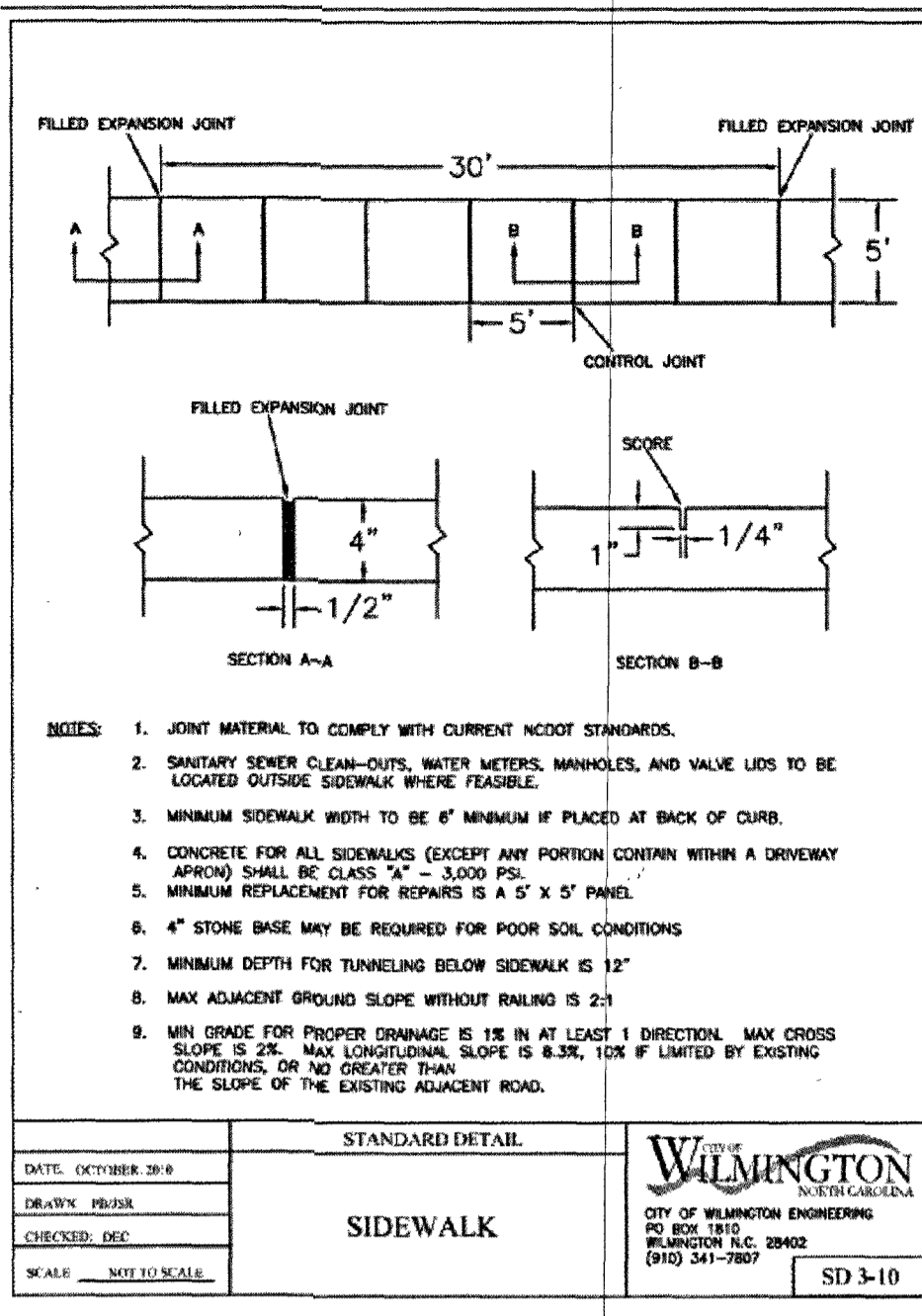
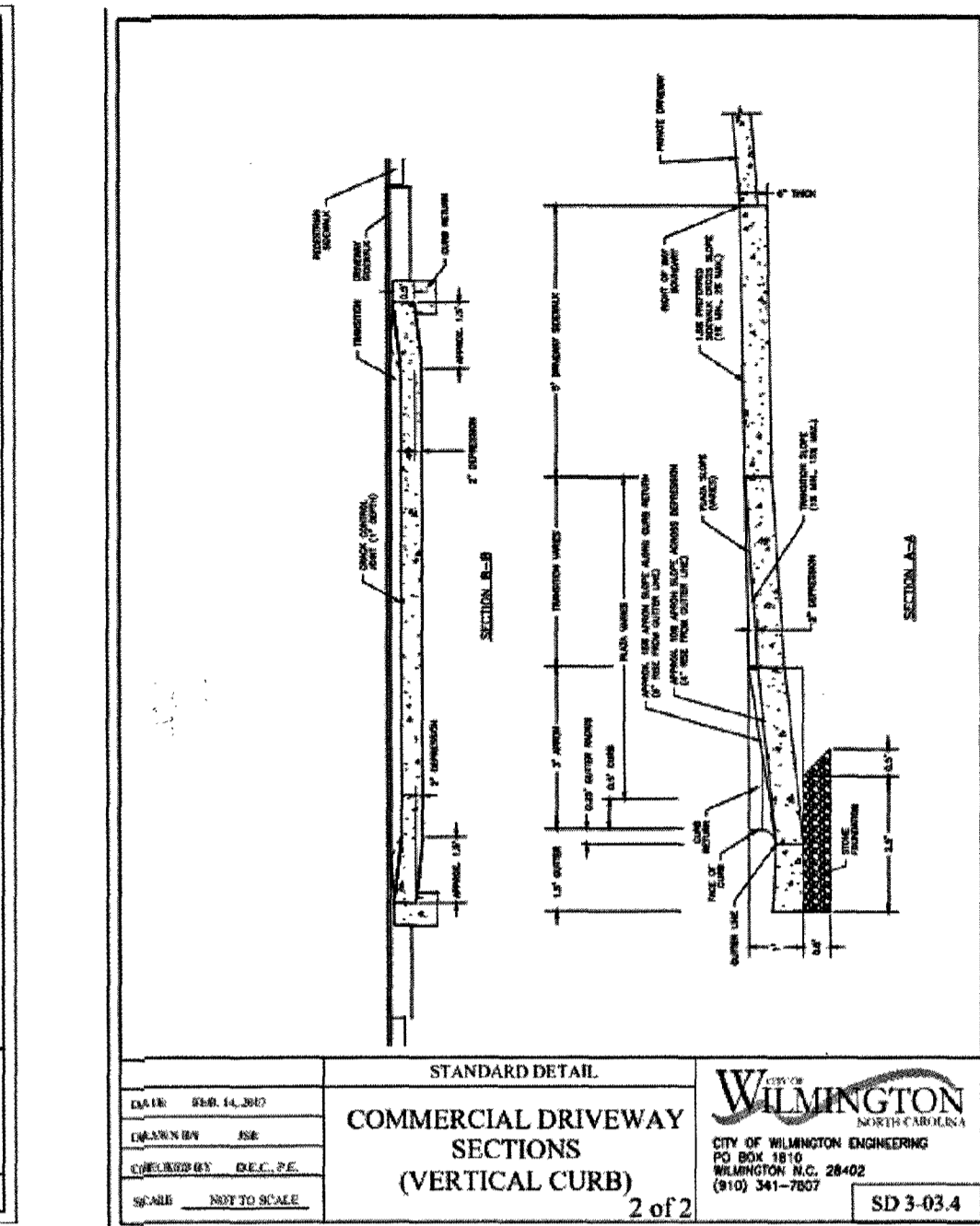
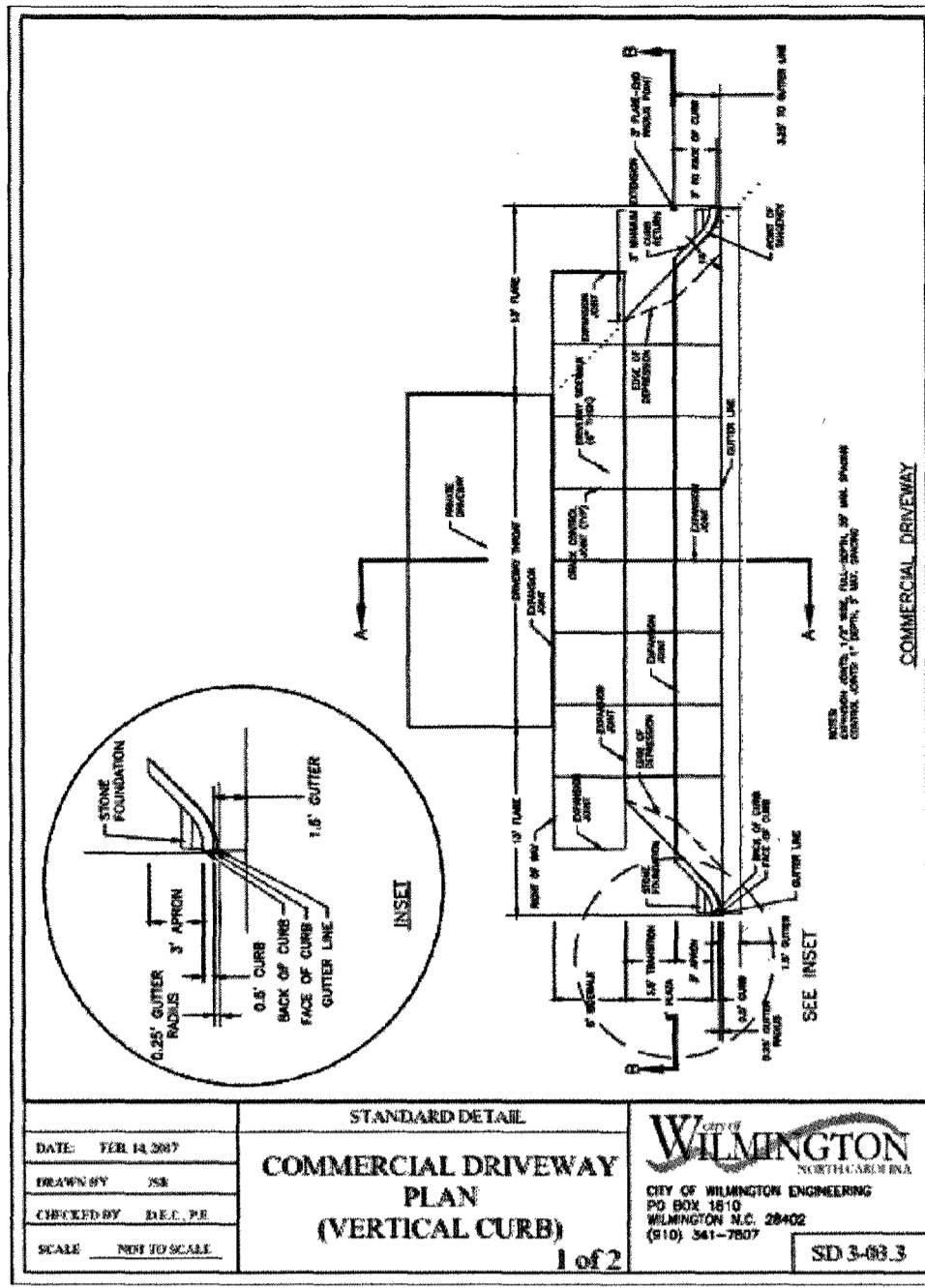
NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
2602 IRON GATE DR., SUITE 102
GREENVILLE, NC 27612
PHONE (910) 343-9665
1429 ASH-LITTLE RIVER RD. NW
ATLANTA, GA 30341
PHONE (770) 251-5900

Licence #C-3641
21144
DES. JST
CHK. JPN
DRWN. RPH
DATE 4/4/22

Mayfaire Zimmer Office
JEFF WALTON
APPROVED 4/5/22
SWP 2022016
JW, RC, MB, BM, CW
APPROVED
By Jeff Walton at 9:31 am, Apr 05, 2022

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C6.1



PERVIOUS PAVEMENT OBSERVATION WELL NOTES:

- IF THE SUBGRADE IS NOT TERRACED, THEN THE OBSERVATION WELL SHALL BE PLACED AT THE LOW END OF THE SUBGRADE SLOPE. IF THE SUBGRADE IS TERRACED, THEN ONE OBSERVATION WELL SHALL BE BUILT INTO THE LOW END OF EACH TERRACE.
- OBSERVATION WELLS SHALL BE FITTED WITH A LOCKABLE CAP INSTALLED PLACED EVEN WITH THE PAVEMENT SURFACE TO FACILITATE QUARTERLY INSPECTION AND MAINTENANCE.
- THE OBSERVATION WELL SHALL CONSIST OF A RIGID 4 TO 6 IN. DIAMETER PERFORATED PVC PIPE.

CALL 811 (3) WORKING DAYS BEFORE YOU DIG.

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

NOTES & DETAILS
ZIMMER DEVELOPMENT
COMPANY OFFICE - MAYFAIRE
6725 MONUMENT DRIVE
WILMINGTON, N. C.

OWNER/DEVELOPER
MAYFAIRE, LLC / JEFFREY L. ZIMMER
530 GREENVILLE BLVD. SE,
SUITE 200
GREENVILLE, NC 27858
PHONE: (910) 763-4669
EMAIL: JEFFREYZIMMER@ZDC.COM

NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
2603 IRON GATE DR., SUITE 102
WILMINGTON, NC 28412
PHONE (910) 343-9653

License #C-3641

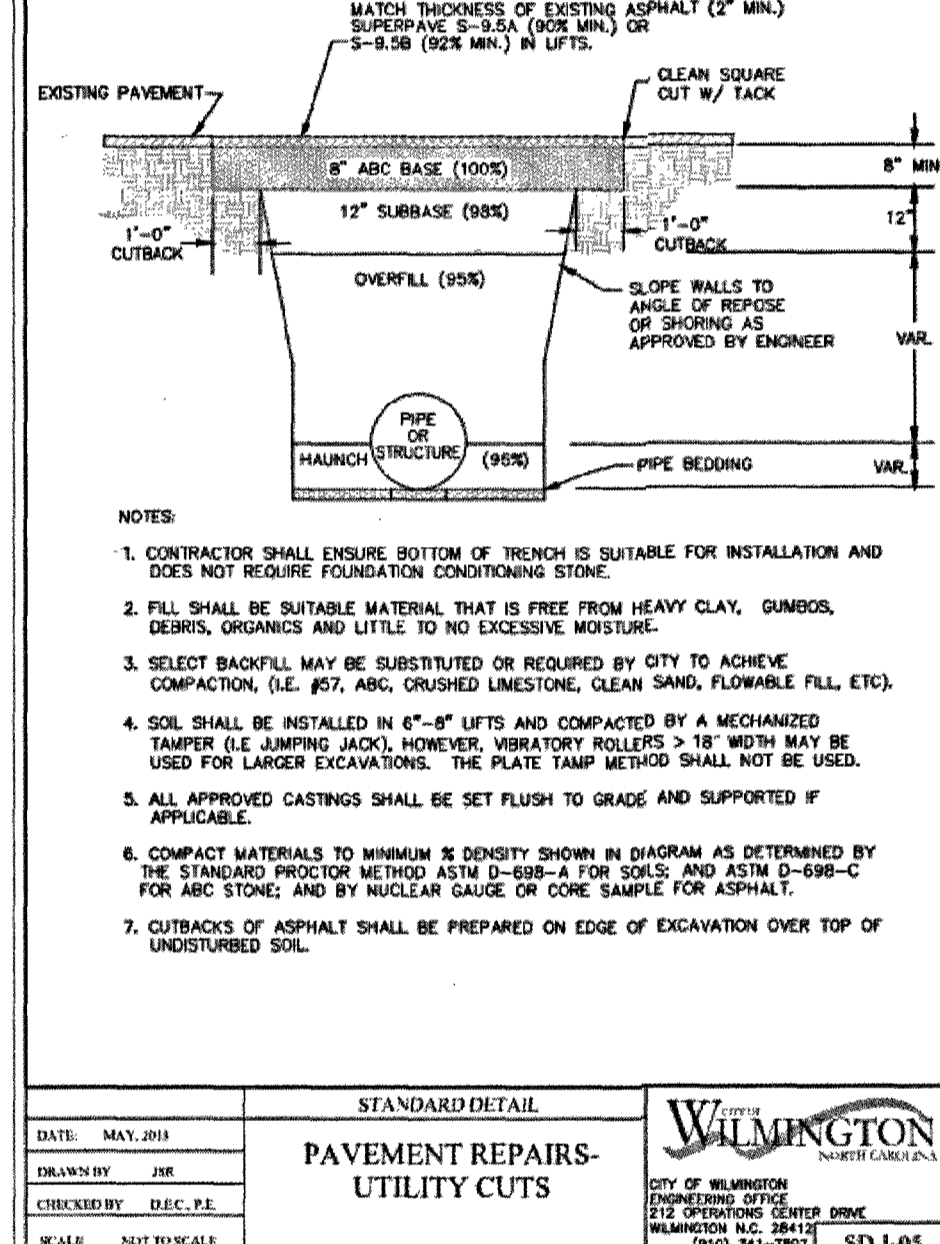
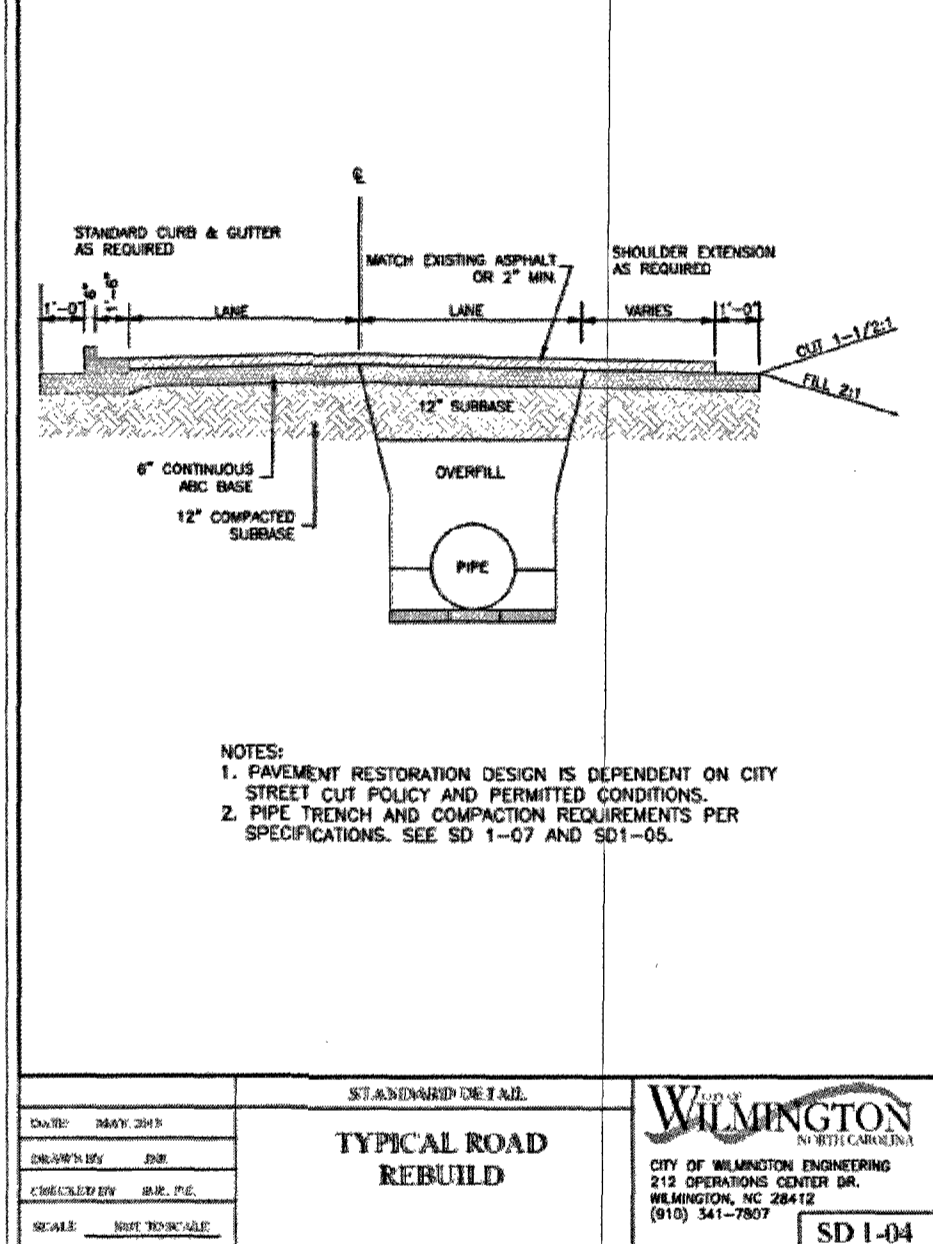
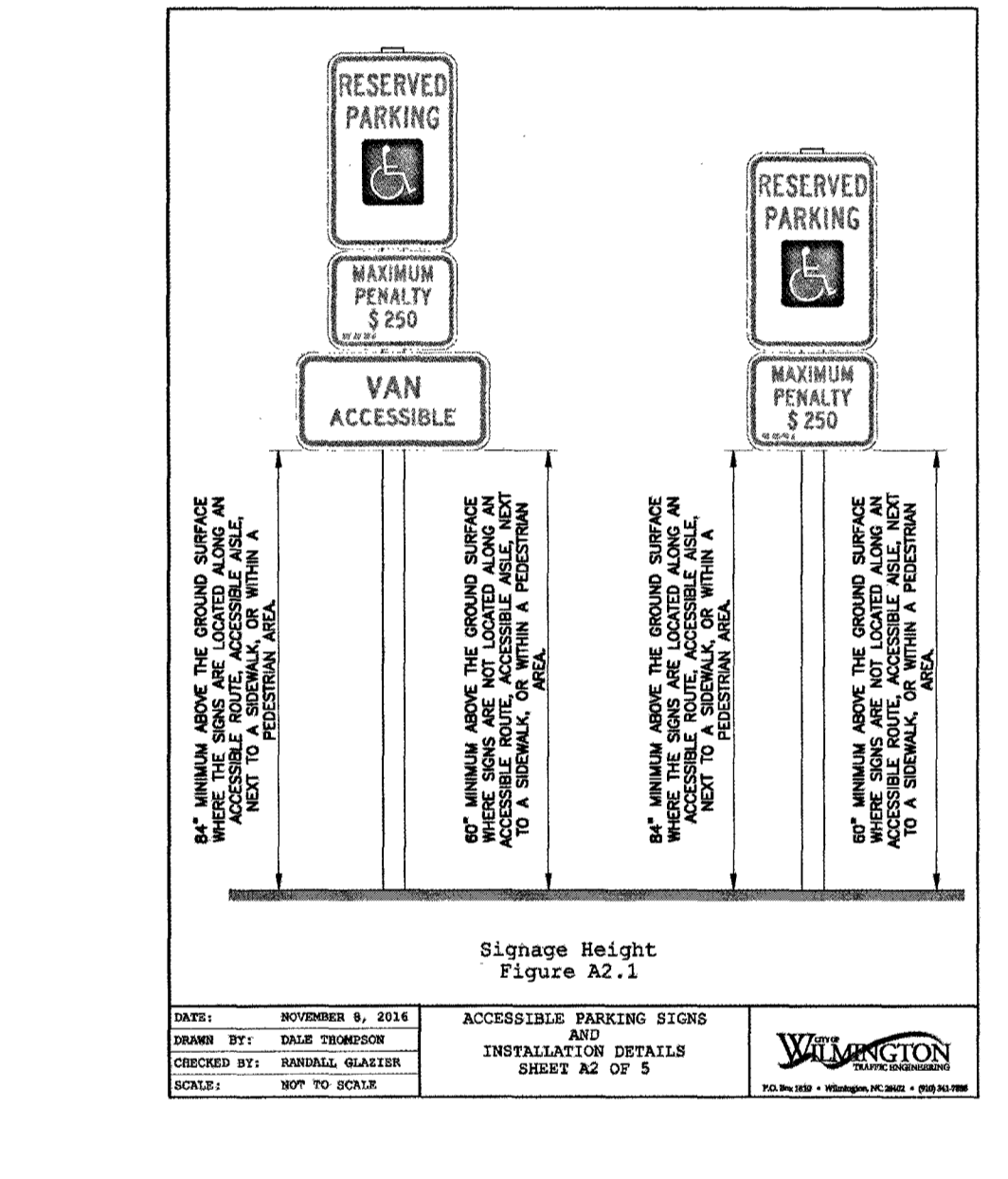
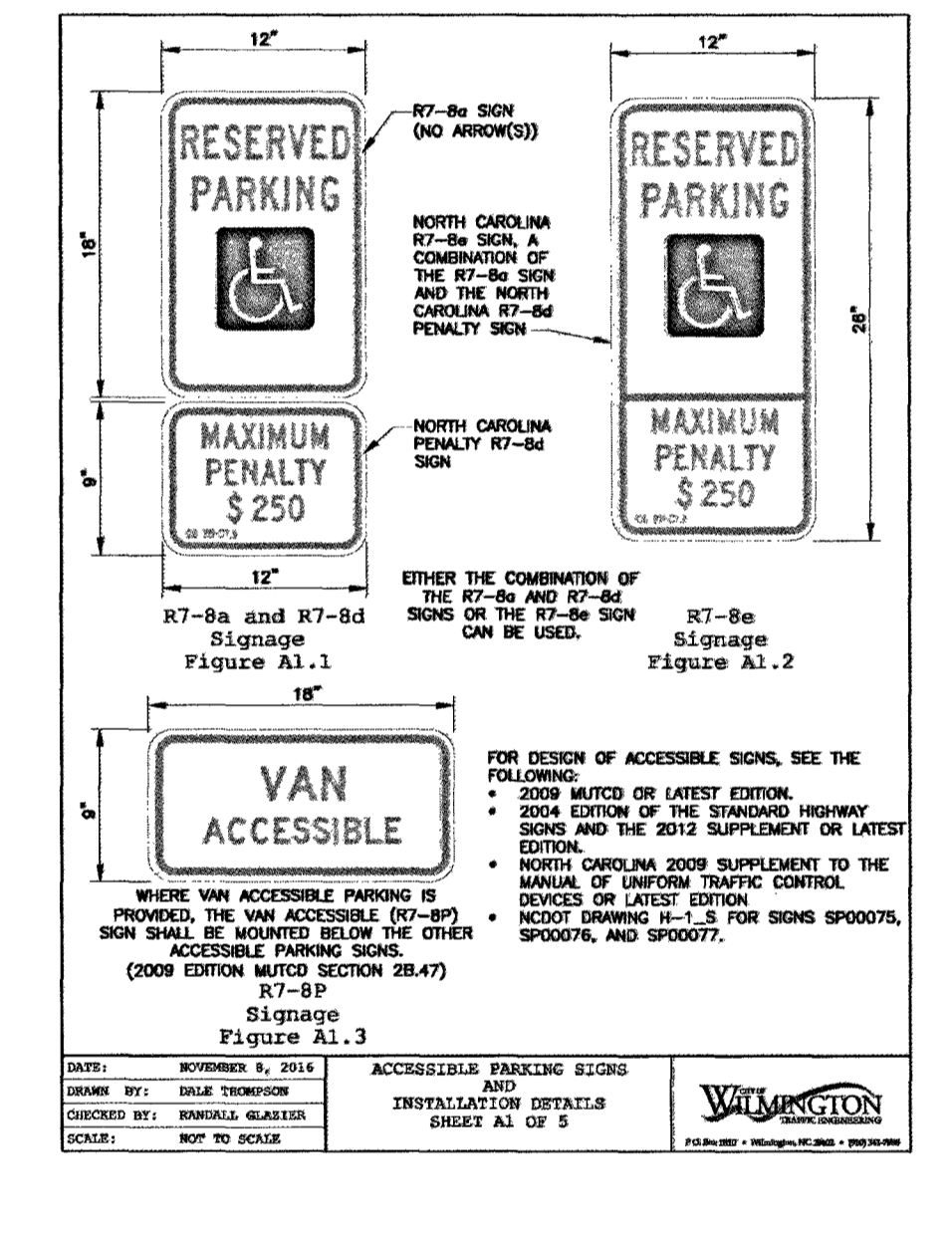
21144

DES.	JUST
CHKD.	JPN
DRWN.	RPH
DATE	4/4/22

Mayfaire Zimmer Office
JEFF WALTON
APPROVED 4/5/22
SWP 2022016
JW, RC, MB, BM, CW

APPROVED
 By Jeff Walton at 9:31 am, Apr 05, 2022

C6.2



PERVIOUS PAVEMENT OBSERVATION WELL

PERMEABLE PAVEMENT CONSTRUCTION SEQUENCE:

The following is a typical construction sequence to properly install pervious concrete. The means and methods of installation shall be determined by the contractor and shall be installed per the manufacturer recommendations, product standards and industry guidelines.

Step 1. Construction of the permeable pavement shall only begin after the entire contributing drainage area has been stabilized. The proposed site should be checked for existing utilities prior to any excavation. Do not install the system in rain or snow.

Step 2. Temporary erosion and sediment (E&S) controls (silt fence) are needed during installation to divert stormwater away from the permeable pavement area until it is completed. The proposed permeable pavement area must be kept free from sediment during the entire construction process. Construction materials that are contaminated by sediments must be removed and replaced with clean materials.

Step 3. Where possible, excavators or backhoes should work from the sides to excavate the aggregate layer to its appropriate design depth and dimensions.

Step 4. In-situ soil testing shall be done after excavation to verify existing infiltration rate. Soils testing shall be conducted by an appropriately qualified professional, the testing can be done by the contractor, the designer, or a third party hired by owner. The results of the testing shall be given to the designer of record for review. If results show a lower infiltration rate than the rate of design the depth of aggregate must be revised.

Step 5. The native soils along the bottom and sides of the permeable pavement system should be scarified or tilled to a depth of 3 to 4 inches prior to the placement of the filter layer or filter fabric.

Step 6. Filter fabric should be installed on the bottom and the sides of the aggregate layer.

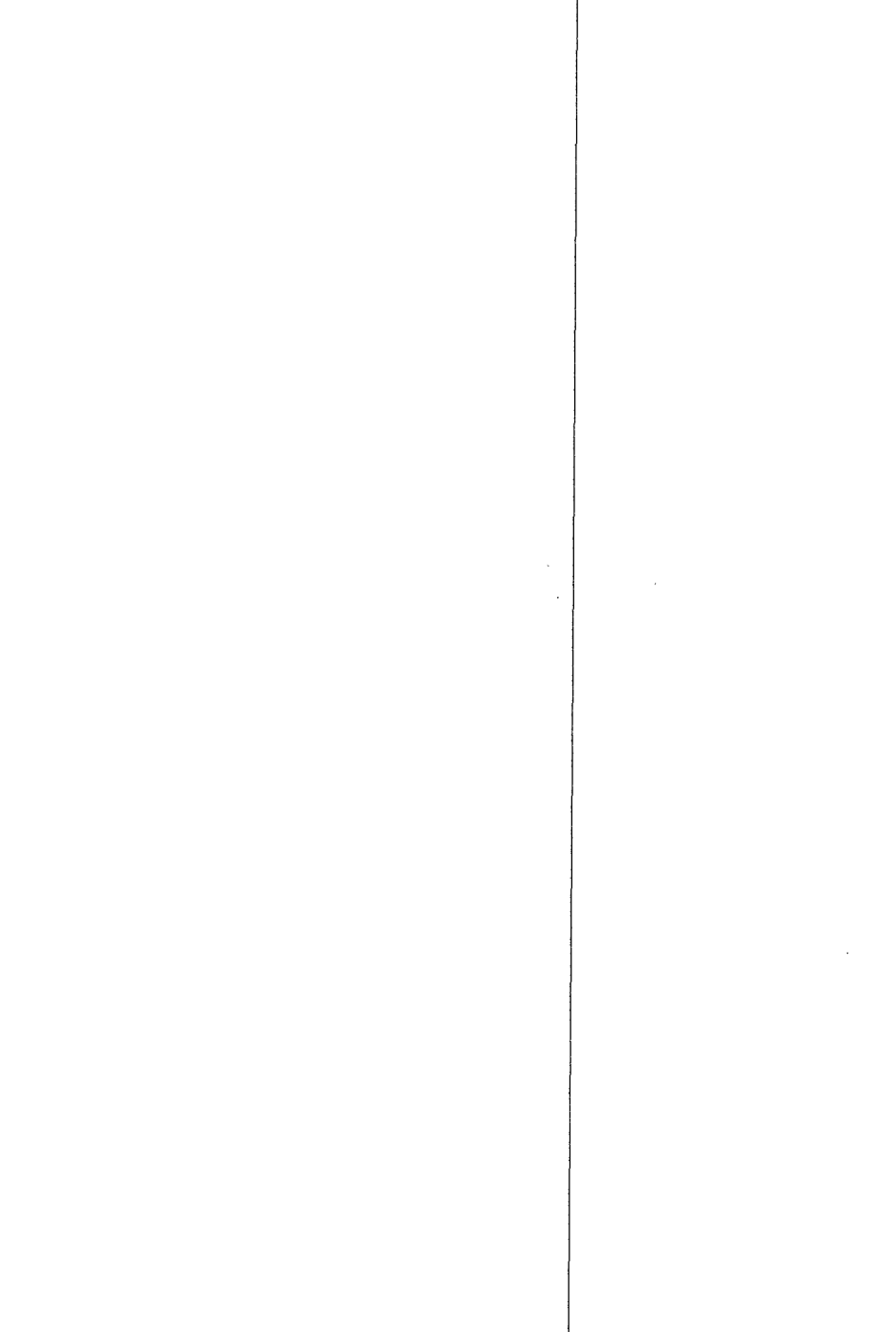
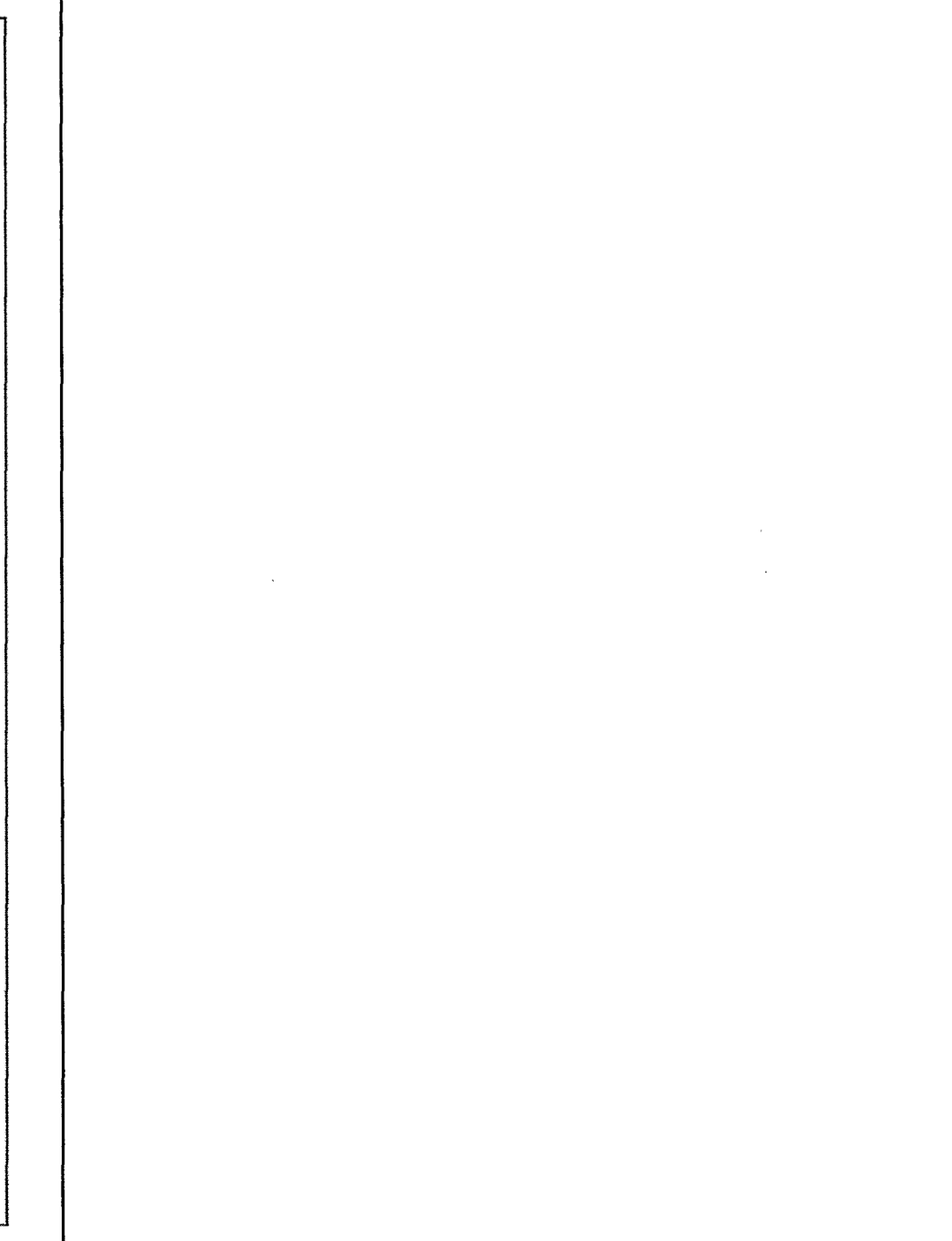
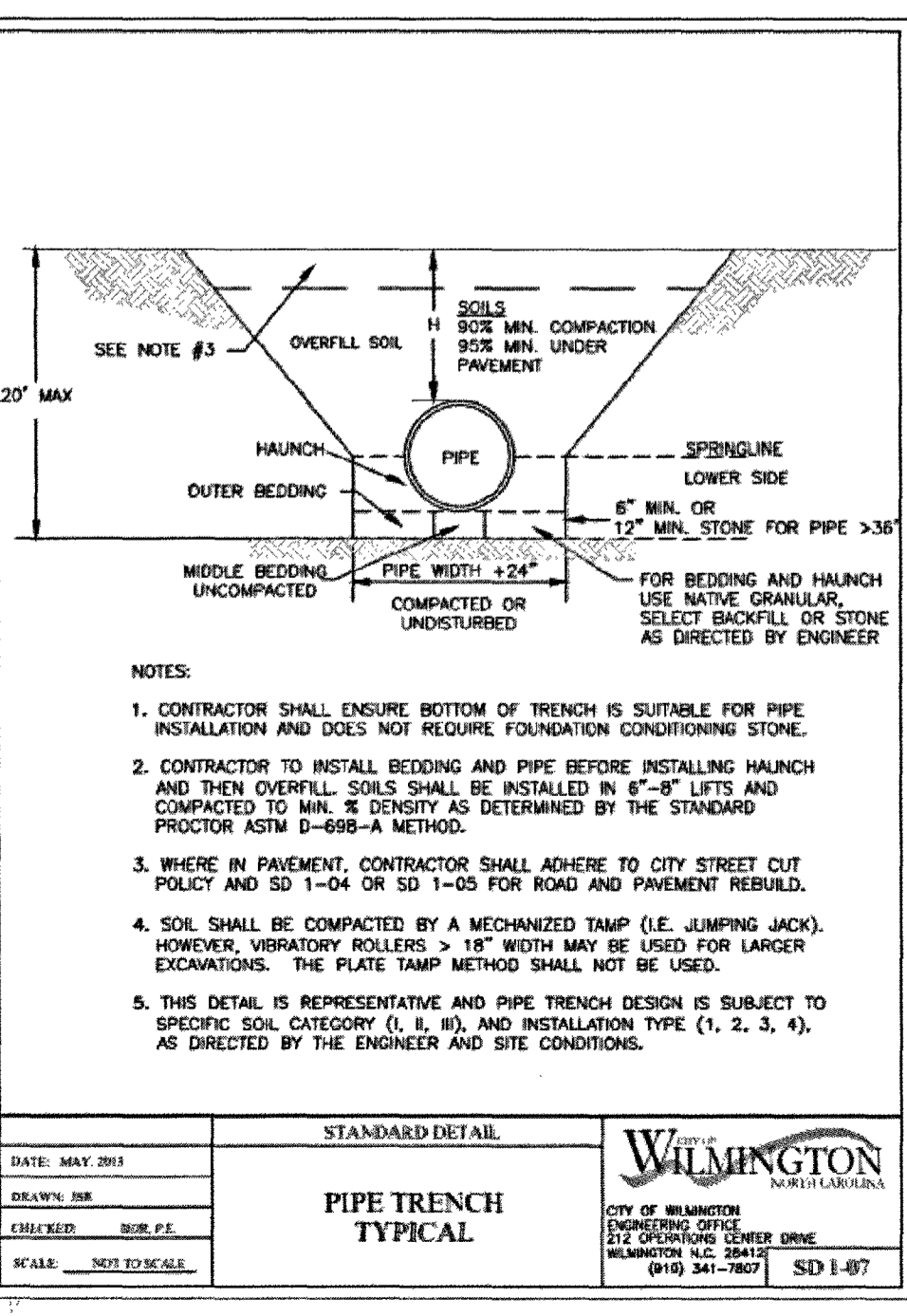
Step 7. Place observation wells as shown on plans.

Step 8. Inspect all aggregate prior to placement. Ensure aggregate is clean, free of fines and conform to the plans and specifications. All aggregate shall be spread (not dumped). Moisture and spread the washed stone without driving on the soil subgrade, being careful not to damage the observation wells. Follow compaction recommendations by the permeable pavement manufacturer or that from industry guidelines.

Step 9. Ensure edge restraints and barriers between permeable pavement are installed per design.

Step 10. Contractor is to follow standard installation procedures for the specific type of pervious pavement that is being installed. For this project pervious concrete will be installed. Only certified and experienced contractors shall install the pervious concrete and installation shall be per the manufacturer recommendations, product standards and industry guidelines. Pervious concrete shall be constructed in accordance with the latest version of ACI 522.1. Specifications for Pervious Concrete.

Step 11. After installation, protect the installed pervious concrete until project completion, including routing construction traffic away from the installed pervious concrete. Contractor shall provide protection techniques including mats, plastic sheeting and barriers to ensure the pervious concrete remains protected until project completion.

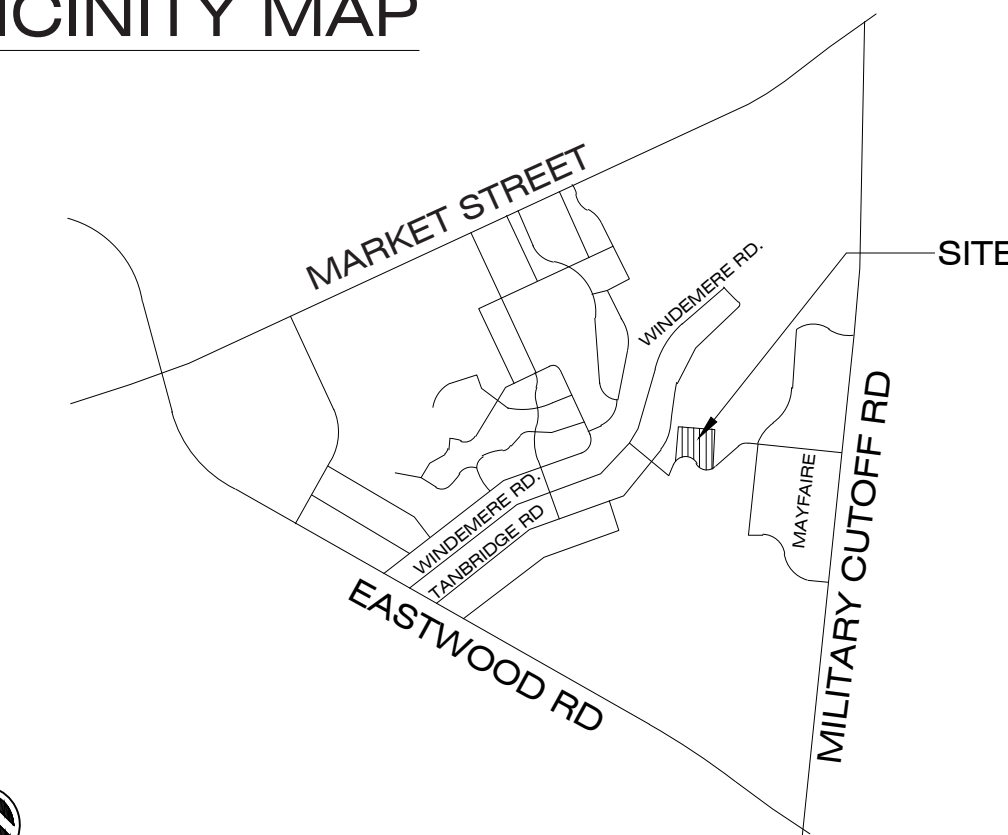


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Mayfaire Zimmer Office
JEFF WALTON
 APPROVED 4/5/22
 SWP 2022016
 JW, RC, MB, BM, CW

APPROVED
 By Jeff Walton at 9:34 am, Apr 05, 2022

VICINITY MAP



NOT TO SCALE

SITE DATA

ADDRESS: MONUMENT DRIVE
 PARCEL ID: R05000-003-023-000
 PARCEL OWNER: MAYFAIRE I, LLC; JEFFREY L. ZIMMER
 ZONING: MX-MX (MIXED USE)
 PROPOSED PARCEL USE: OFFICE
 PARCEL AREA: 5.17 AC (224,783 SF)
 CAMA LAND USE: URBAN

BUILDING REQUIREMENTS	REQUIRED	PROPOSED
MIN. FRONT SETBACK	20'	30.25'
MIN. REAR SETBACK	N/A	247.9'
MIN. INTERIOR SIDE SETBACK	N/A	29' & 421'

LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
PARKING LOT CANOPY COVERAGE (37,770 SF x 20%)	7,554 SF, 11 TREES	14 LARGE TREES, (707' x 14' = 9,898 SF)
STREET YARD PLANTING STREETYARD: MULTIPLIER 18		
PARK AVENUE	992 LF - 48 LF (DRIVEWAYS) = 904 x 18 18,272 SF REQUIRED	21,891 SF
TREES REQUIRED	27 (1,600 SF)	27 PROPOSED CANOPY TREES
SHRUBS REQUIRED	163 (8,600 SF)	165 PROPOSED SHRUBS
FOUNDATION PLANTING 12% FACADE AREA	REQUIRED	PROVIDED
BUILDING #1		
WEST	706 SF (168 LF x 9'5" HT x .12)	1,739 SF
SOUTH	311 SF (74 LF x 9'5" HT x .12)	4,250 SF
TREE REQUIREMENTS PER DISTURBED ACRE 15 TREES PER DISTURBED ACRE MUST BE RETAINED OR PLANTED ON SITE.		
REQUIRED:	2.87 ACRES DISTURBED x 15 TREES = 43 TREES REQUIRED	
PROVIDED:	4 EXISTING TREES RETAINED	
TOTAL:	48 TREES PLANTED - REFER TO PLANTING LEGEND	48 TREES PROVIDED

GENERAL NOTES

- STREETYARD NOTES:
- ALL SHRUBS TO BE A MINIMUM OF 12' HEIGHT AT TIME OF PLANTING
- SIGHT TRIANGLE NOTES:
- ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCES TRIANGLES SHALL NOT INTERFERE WITH CLEAR SIGHT LINES FROM 30' - 10'.
- TREE PROTECTION NOTES:
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING

SHEET INDEX

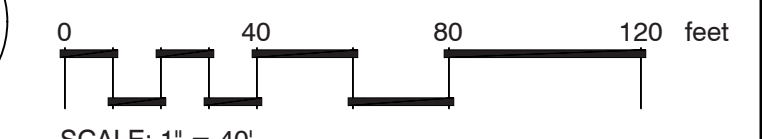
L3.0	OVERALL
L3.1	PLANTING PLAN

SYMBOL LEGEND

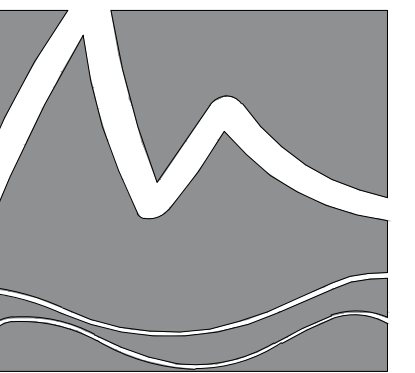
	PROPERTY LINE
	RIGHT OF WAY
	LIMITS OF DISTURBANCE
	SETBACK
	EXISTING TREES TO REMAIN
	STREETYARD
	SITE TRIANGLE



NORTH



SCALE: 1" = 40'



MIHALY
 LAND DESIGN
 PLANNING + LANDSCAPE ARCHITECTURE
 330 MILITARY CUTOFF RD., SUITE A3
 WILMINGTON, NC 28405 910.392.4355

Revisions

2022-01-12: Revised Per COW
 Comments
 2022-03-31: Revised Per COW
 Comments

CLIENT
MAYFAIRE I, LLC/ JEFFREY L. ZIMMER
 530 GREENVILLE BLVD. SE, SUITE 200
 GREENVILLE, NC
 PHONE: (910) 763-4669

PROJECT
ZIMMER DEVELOPMENT
 COMPANY OFFICE - MAYFAIRE
 WILMINGTON, NC
 LANDSCAPE PLAN

PERMIT PLAN SET

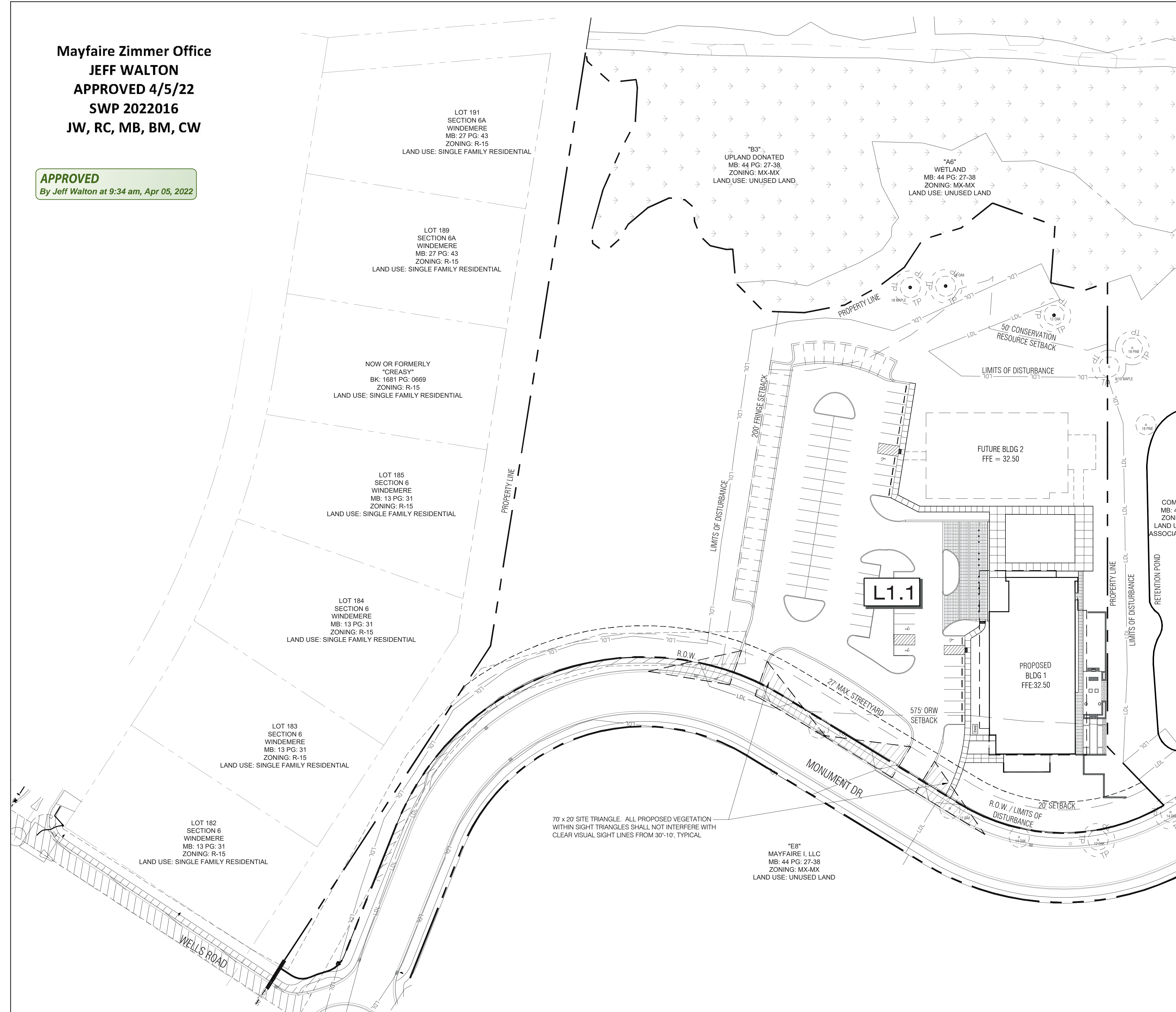
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 Phase:
 Job Number: 920-01
 Designed by: MLD
 Drawn by: RJB
 Checked by: JWM
 Sheet Title: OVERALL

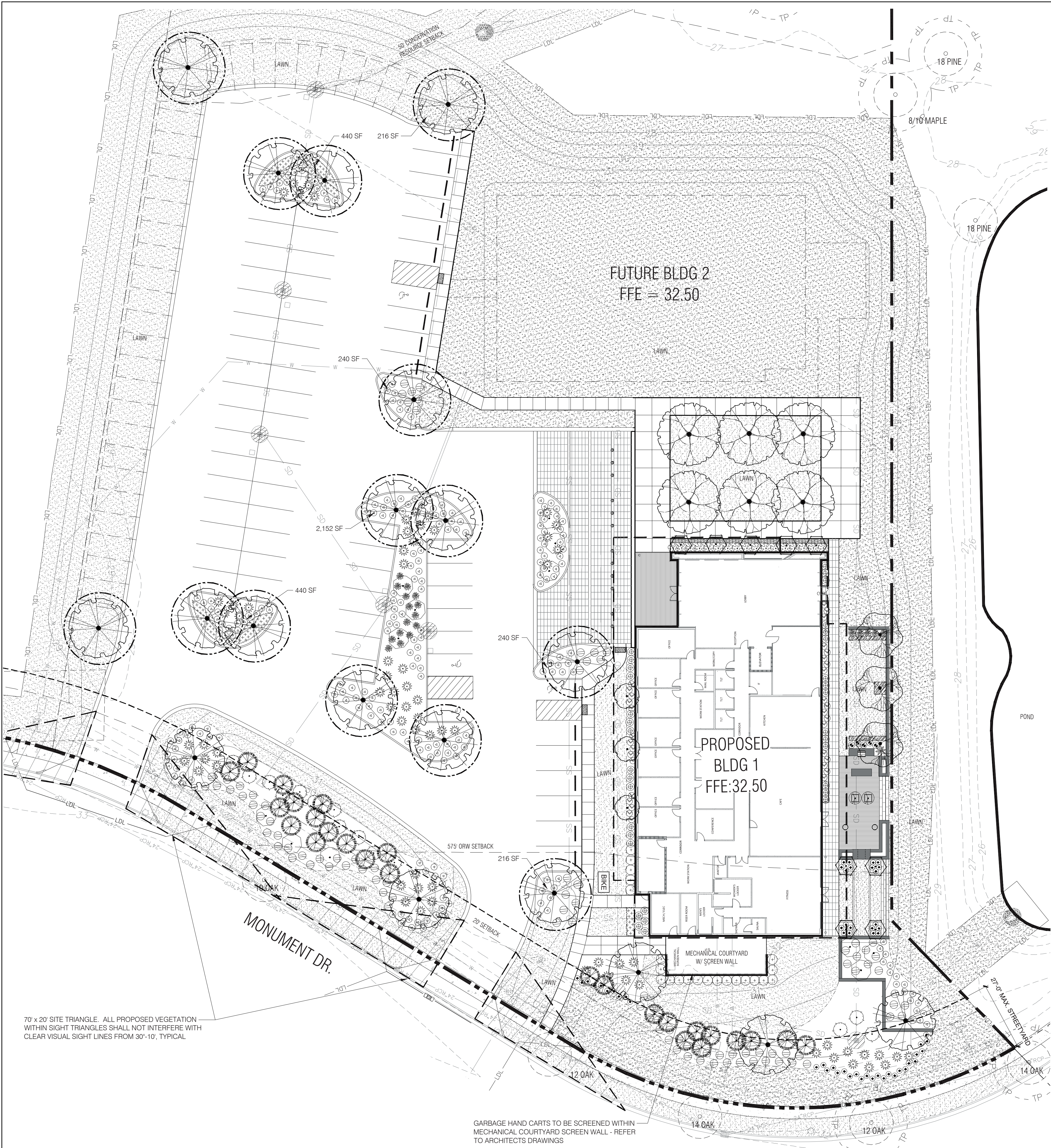
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L3.0
 of 2 sheets

*NOTE: PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING

70' x 20' SITE TRIANGLE. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10', TYPICAL

"E8"
 MAYFAIRE I, LLC
 MB: 44 PG: 27-38
 ZONING: MX-MX
 LAND USE: UNUSED LAND





70' x 20' SITE TRIANGLE. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30"-10', TYPICAL.

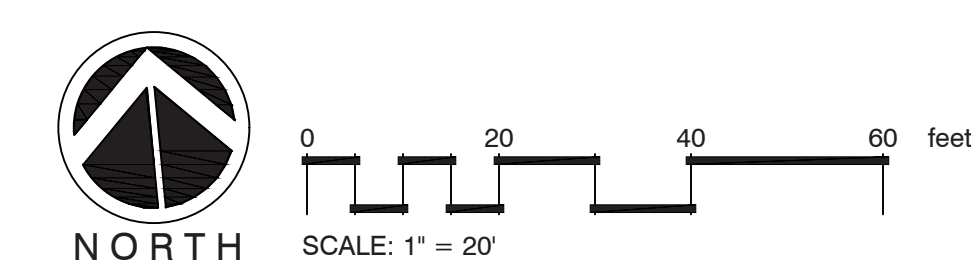
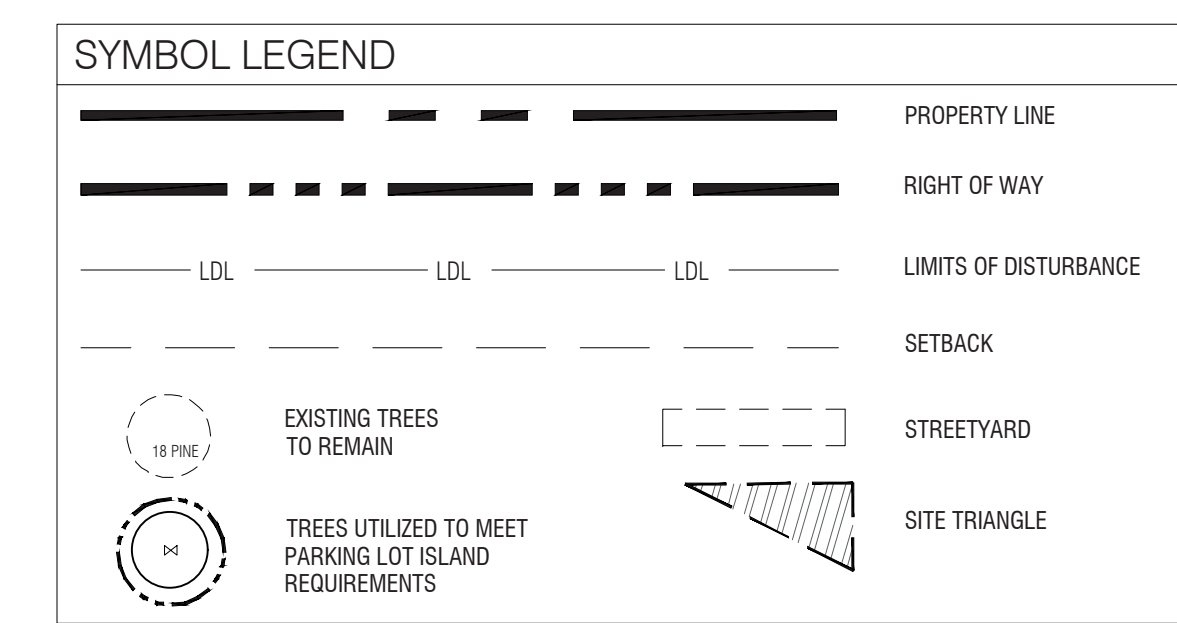
GARBAGE HAND CARTS TO BE SCREENED WITHIN MECHANICAL COURTYARD SCREEN WALL - REFER TO ARCHITECTS DRAWINGS

PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	MIN. REQ. SIZE	QTY
	Ilex x a. 'Eagleston' / Eagleston Holly	B&B	1.5" - 2" CAL	8-10' HT		3
	Ilex x a. 'East Palatka' / Single Stem East Palatka Holly	25 GAL		8' HT		9
	Pinus palustris / Longleaf Pine	B & B		2" CAL		26
	Quercus virginiana / Southern Live Oak	B & B		2-2.5" CAL.		19
	Quercus virginiana / Southern Live Oak FIELD SELECTED	SPADED	8" CAL.			6
	Ulmus p. 'Emer II' / Allee Elm	B&B	3" CAL			3
SHRUBS	BOTANICAL / COMMON NAME	CONT	SIZE		MIN. REQ. SIZE	QTY
	Cycas revoluta / Sago Palm	7 gal	24-30" HT			1
	Fatsia japonica / Japanese Fatsia	7 gal	30" HT			17
	Ilex vomitoria / Tree Form Yaupon Holly	B&B	8' HT			12
	Ilex vomitoria 'Nana' / Dwarf Yaupon	7 gal	15-18" HT		12" HT	234
	Ligustrum japonicum / Tree Form Ligustrum	B&B	8' HT			2
	Mahonia e. 'Soft Caress' / Mahonia Soft Caress	7 gal	24-30" HT		12" HT	33
	Miscanthus s. 'Adagio' / Adagio Eulalia Grass	3 gal	18-24" HT		12" HT	97
	Muhlenbergia capillaris / Pink Muhly	3 gal	18-24" HT			20
	Myrica cerifera / Wax Myrtle	15 gal	36"-48" HT			14
	Nandina domestica 'Harbour Dwarf' / Dwarf Heavenly Bamboo	7 gal	18-24" HT			5
	Pittosporum tobira 'Wheeler's Dwarf' / Dwarf Pittosporum	7 gal	18-24" HT		12" HT	33
	Podocarpus macrophyllus maki / Shrubby Yew	7 gal	3-4' HT		12" HT	22
	Rosa x 'Meigalpio' / Red Drift Rose	3 gal	12-15" HT		12" HT	54
	Sabal minor / Dwarf Palmetto	7 gal	30-36" HT		12" HT	71
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SIZE		SPACING	QTY
	Dryopteris erythrosora / Autumn Fern	1 GAL	12-15" HT		16" o.c.	64
	Liriope gigantea / Giant Liriope	1 GAL	12-18" HT		18" o.c.	32
	Liriope muscari / Lily Turf	1 GAL	6-12" HT		18" o.c.	143
SOD/SEED	BOTANICAL / COMMON NAME	CONT	SIZE		SPACING	QTY
	Zoysia japonica 'Crown' / Crown Zoysia Grass	sod				

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Mayfaire Zimmer Office
JEFF WALTON
APPROVED 4/5/22
SWP 2022016
JW, RC, MB, BM, CW

APPROVED
 By Jeff Walton at 9:34 am, Apr 05, 2022



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 2022-01-12: Revised Per COW Comments
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 PHONE: (910) 763-4669

PROJECT
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 COMPANY OFFICE - MAYFAIRE
 WILMINGTON, NC
 LANDSCAPE PLAN

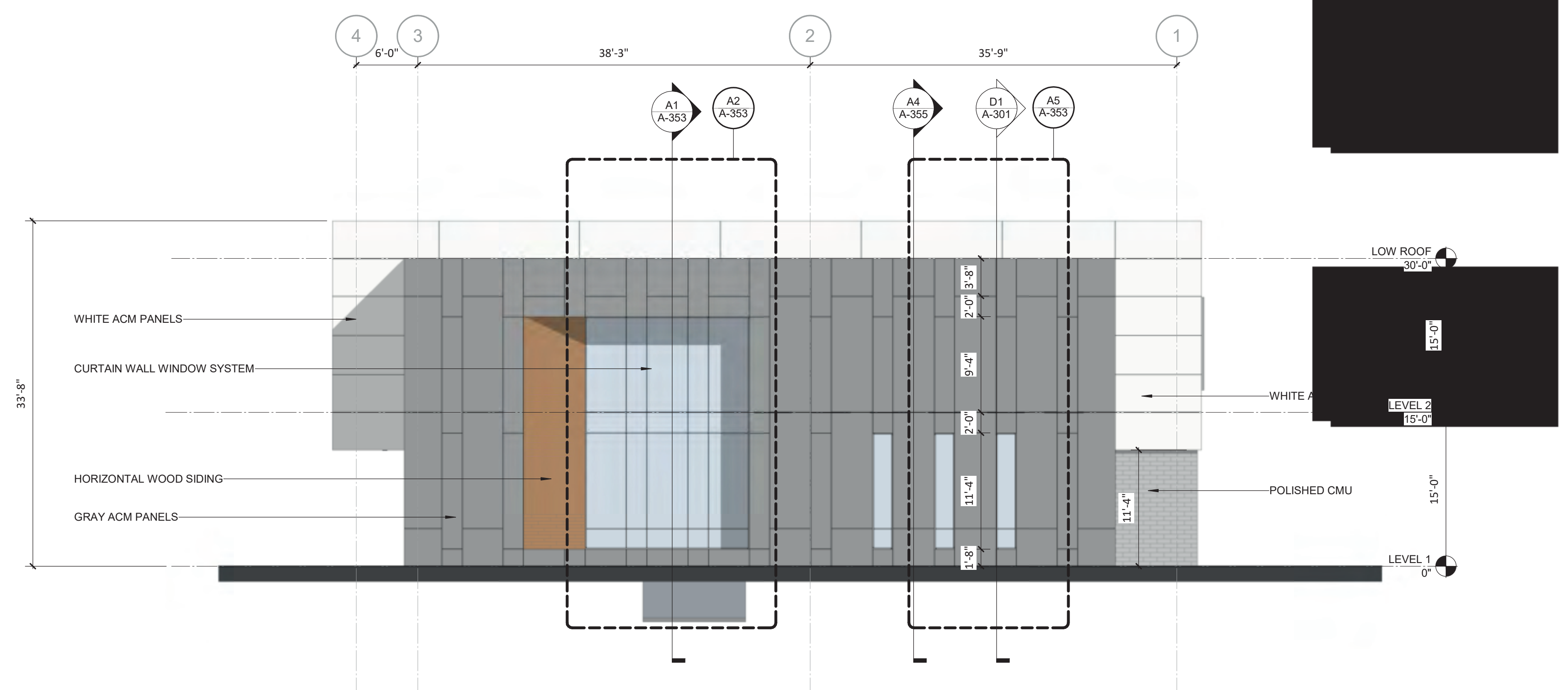
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 Phase:
 Job Number: 920-01
 Designed by: MLD
 Drawn by: RJB
 Checked by: JWM
 Sheet Title: PLANTING PLAN

Sheet Number:
L3.1
 of 2 sheets

DATE	DESCRIPTION

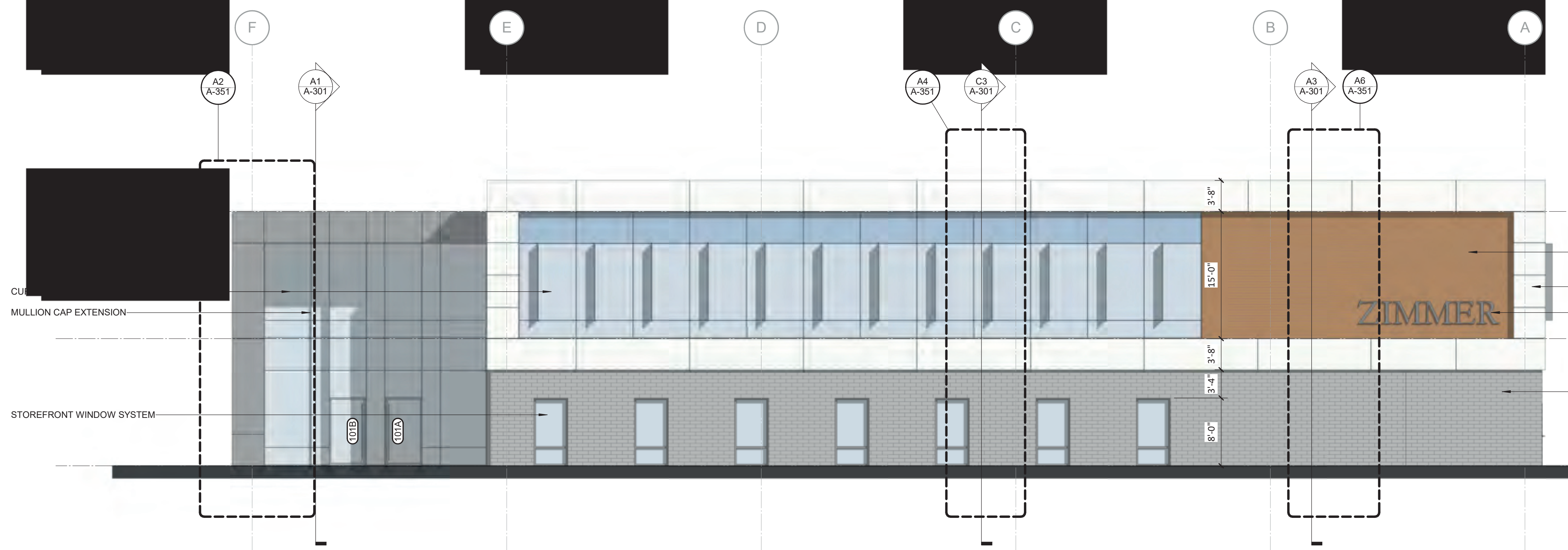
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JEFF WALTON
APPROVED 4/5/22
SWP 2022016
JW, RC, MB, BM, CW

APPROVED
By Jeff Walton at 9:34 am, Apr 05, 2022



ELEVATION - EXTERIOR - NORTH

1/8" = 1'-0"



ELEVATION - EXTERIOR - WEST

1/8" = 1'-0"

A-201

1

2

3

4

5

6

DATE	DESCRIPTION

E

D

Mayfaire Zimmer Office
JEFF WALTON
APPROVED 4/5/22
SWP 2022016
JW, RC, MB, BM, CW

APPROVED
By Jeff Walton at 9:34 am, Apr 05, 2022

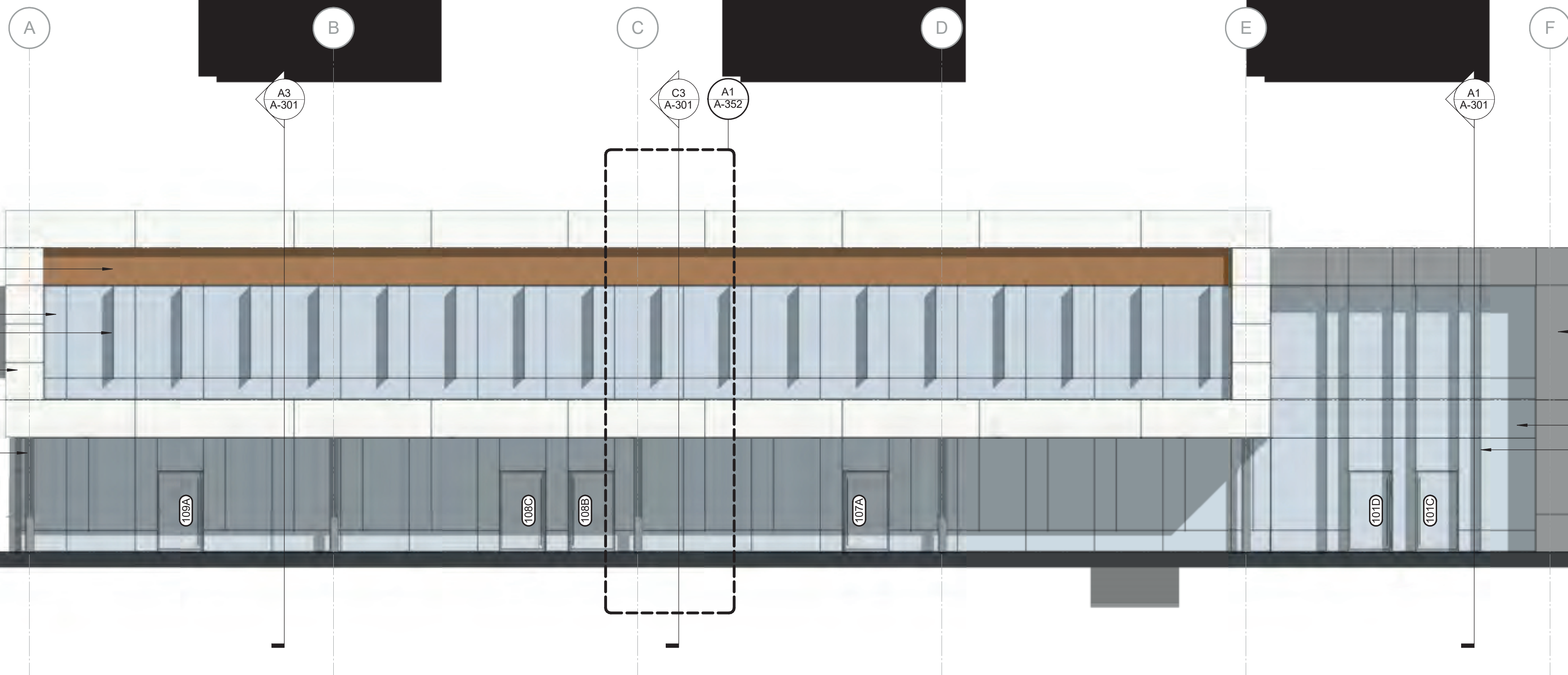
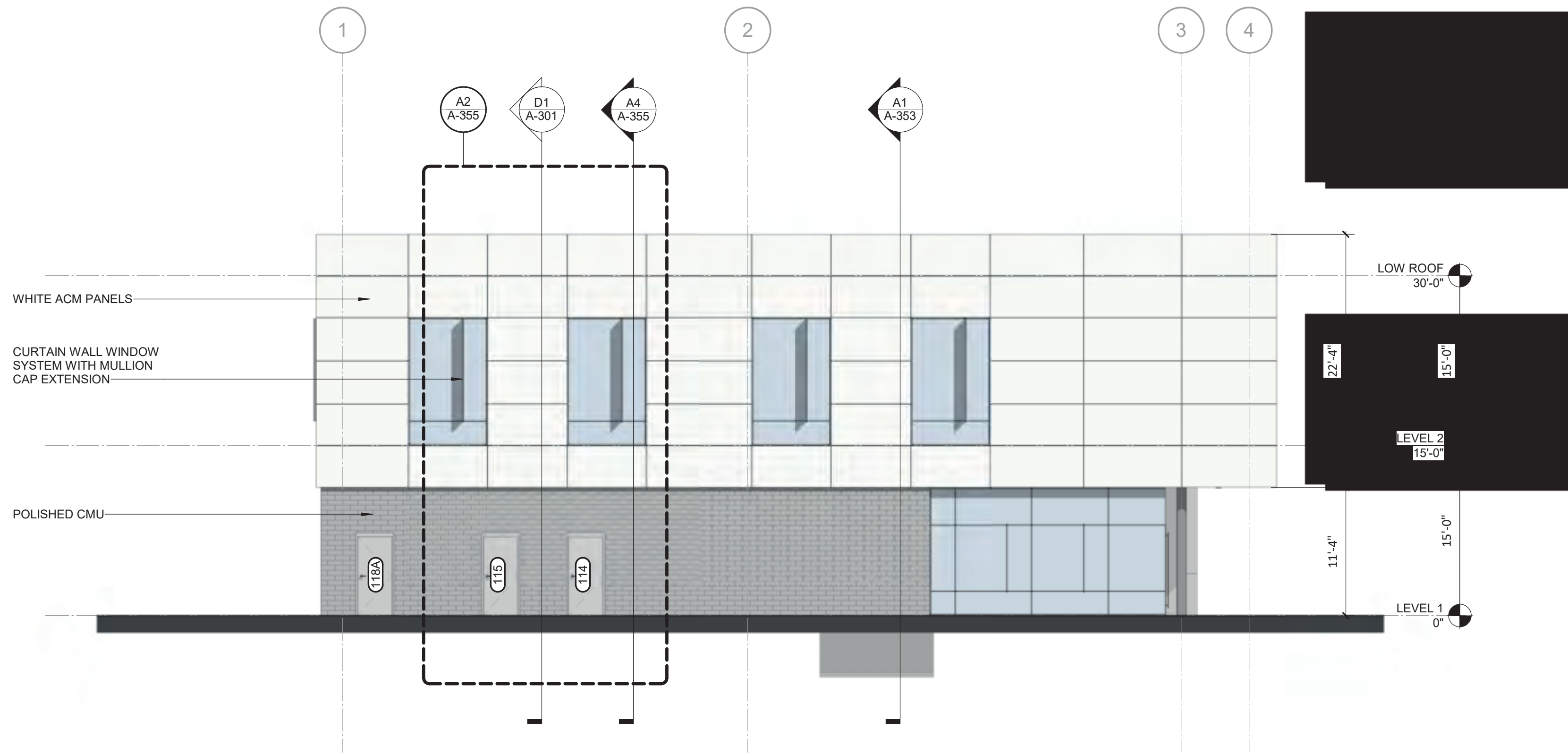
ELEVATION - EXTERIOR - SOUTH

1/8" = 1'-0"

A

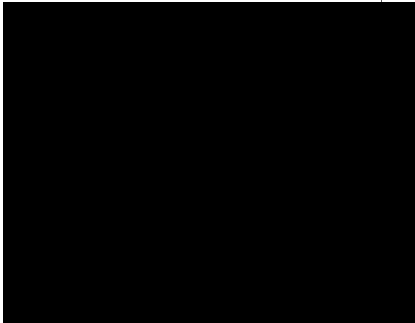
ELEVATION - EXTERIOR - EAST

1/8" = 1'-0"



11/16

A-202



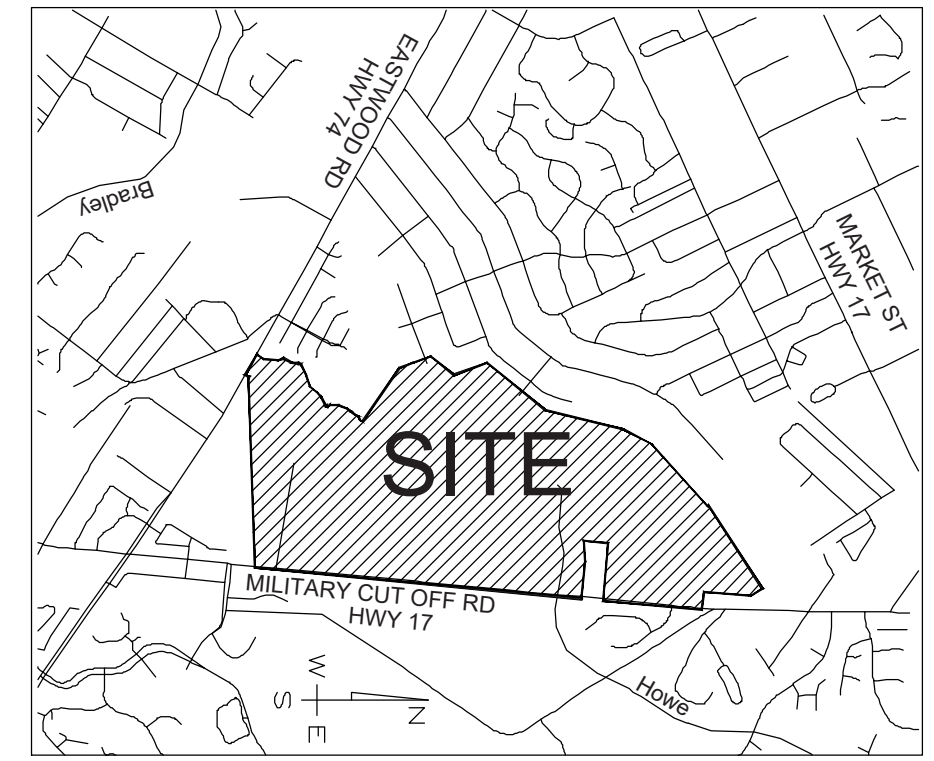
RECREATIONAL AREAS

AREAS WITHIN THE OPEN SPACE CATEGORY, DEDICATED, DESIGNATED OR RESERVED FOR PUBLIC OR PRIVATE USE BY MAYFAIRE COMMUNITY RESIDENTS.

- R1** COMMUNITY PARK: +/- 2.5 ACRES
NATURAL AREAS, WALKING TRAIL CONNECTIVITY TO MAYFAIRE COMMUNITY PEDESTRIAN NETWORK, OPEN SPACES FOR NEARBY RESIDENTIAL COMMUNITY GATHERINGS.
- R2** COMMUNITY GREEN: +/- 0.5 ACRES
WALKING TRAIL CONNECTIVITY TO MAYFAIRE COMMUNITY PEDESTRIAN NETWORK, POTENTIAL WATER FEATURES AND PUBLIC SEATING. POINT OF RECOGNITION FOR VEHICULAR TRAFFIC AROUND UNIQUE TOWN CENTER DRIVE ROTARY.

PUBLIC AND PRIVATE STREET DATA

- A** PUBLIC STREET: COLLECTOR A
60' R.O.W.
36' PAVEMENT WIDTH
- B** PUBLIC STREET: MODIFIED COLLECTOR
76.6' R.O.W.
26' PAVEMENT WIDTH
45' ON STREET PARKING (AFTER PHASE I)
- C** PUBLIC STREET: SINGLE FAMILY PARCEL
56.0' R.O.W.
24' PAVEMENT WIDTH
PARALLEL PARKING ON STREET
- D** PRIVATE STREET



BUFFERS, BOUNDARIES, SETBACKS

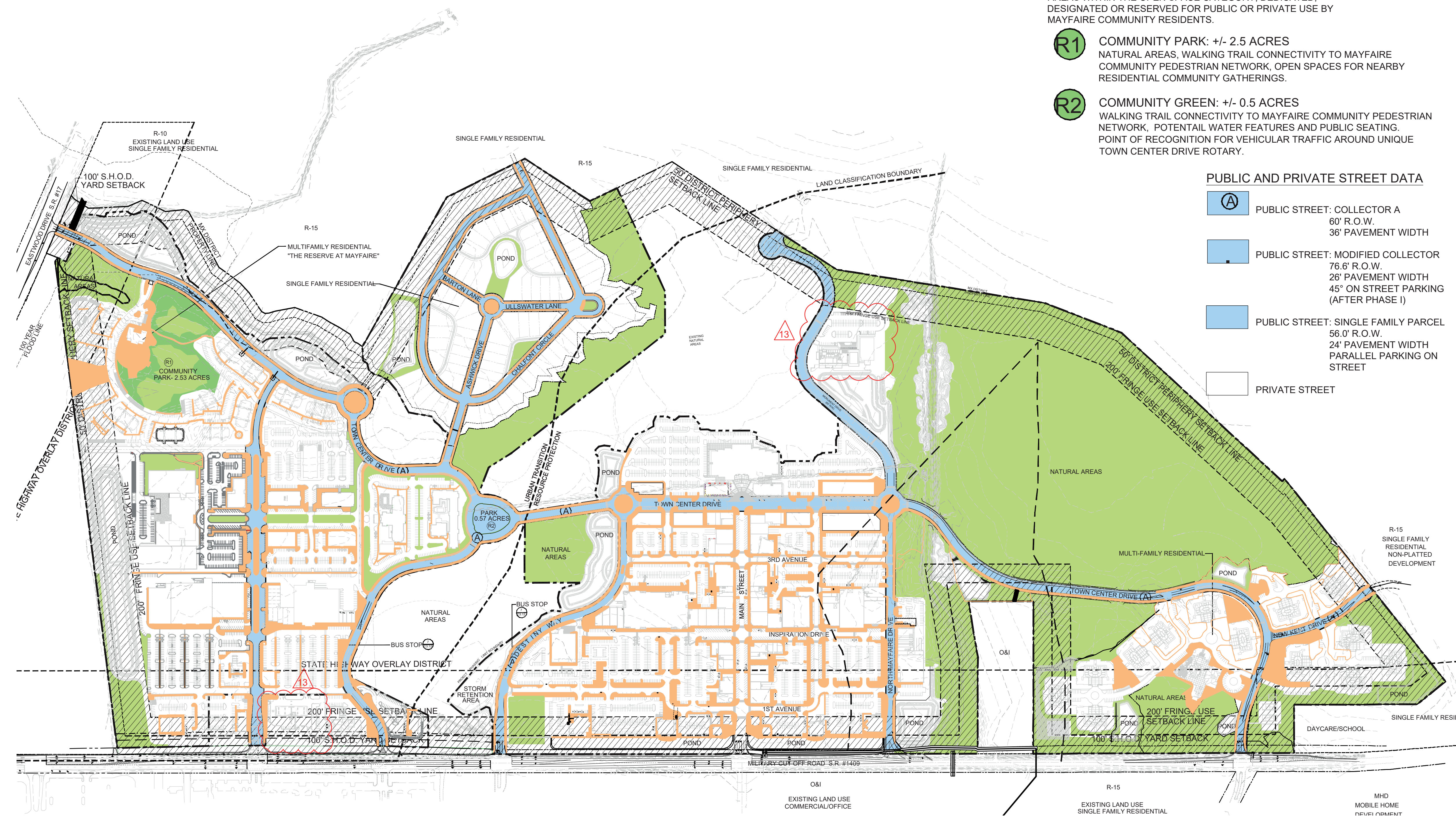
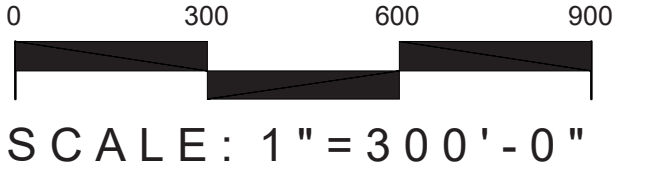
- FRINGE USE AREAS SECTION 1.4, U.D.O. ORDINANCE, MX DISTRICT CHAPTER
- S.H.O.D. YARD STATE HIGHWAY OVERLAY DISTRICT ARTICLE VI, SECTION 609, U.D.O. ORDINANCE
- PROPERTY LINE/ MX DISTRICT BOUNDARY
- PROJECT PHASING LIMIT LINE (WITHIN MX DISTRICT BOUNDARY LINE)
- LAND CLASSIFICATION BOUNDARY
- BUILDING SETBACK LINES

FEATURES LEGEND

- SECTIONS 404 AND 10 WETLANDS
- RESIDENCE ABOVE RETAIL
- PEDESTRIAN NETWORK - PREDOMINANTLY STREETSCAPE AND OTHER AREAS RELATED TO THE COMMON OPEN SPACE REQUIREMENT.
- PEDESTRIAN NETWORK TRAIL SYSTEM, NON-FORMAL
- CONTOUR LINES (1' INTERVALS)

GENERAL NOTES

- EXCESS F.A.R. SHALL BE CARRIED FORWARD TO SUBSEQUENT PHASES, AND THE TOTAL CONSTRUCTION ALLOWED SHALL NOT EXCEED THE MAXIMUM ALLOWED F.A.R.
- SEE SHEET C1.1 (EXISTING CONDITIONS) FOR OFFICIAL MX DISTRICT BOUNDARY/PROPERTY LINE.
- NO SIGNIFICANT TREES EXIST.
- ALL AREAS DESIGNATED AS COMMON OPEN SPACE SHALL REQUIRE THREE OUT OF FOUR ITEMS AS STATED IN THE MX ORDINANCE (SECTION F, 1.a) TO QUALIFY AS COMMON OPEN SPACE. SEE SHEETS L1-L15.25 FOR ALL LANDSCAPE AND MATERIALS PLANS AND DETAILS.
- THE PROJECT PHASING LIMIT LINE REPRESENTS A TEMPORARY BOUNDARY ENCOMPASSING ALL LAND USES WITHIN THE MX DISTRICT TO BE INCLUDED AS PART OF A PROPOSED DEVELOPMENT PHASE AND IS FOR PLANNING PURPOSES ONLY. REFER TO PLATTED SITE PLAN FOR OFFICIAL MX DISTRICT BOUNDARY LINE.



SITE DATA

MAYFAIRE	
CURRENT ZONING:	MX
TRACT SIZE:	14,190,791.58 SF - 325.78 ACRES
EXISTING BUILDING SQUARE FEET:	0 ACRES
PROPOSED BUILDING SQUARE FEET (ALL AREAS WITHIN THE MX AREA)	
RETAIL	593,845.58 SF 28%
HOTEL / ENTERTAINMENT	55,000.00 SF 3%
RESIDENTIAL	998,218.78 SF 47%
OFFICE	491,800.00 SF 23%
TOTAL SQUARE FEET	2,138,864.36 SF 100%
TOTAL ACRES WITHIN 100 YR FLOOD:	1.85 ACRES
TOTAL ACRES WITHIN WETLANDS:	2.74 ACRES
MAXIMUM PARKING ALLOWED	4,981 SPACES
PARKING PROVIDED:	4,981 SPACES
HANDICAP SPACES REQUIRED:	133
HANDICAP SPACES PROVIDED:	140
LOADING BAYS PROVIDED:	42 BAYS, 16 COMPACTORS
REQUIRED INTERNAL LANDSCAPING:	447,602.28 SF = 16.00% OF PARKING AREA
PROVIDED INTERNAL LANDSCAPING:	488,452.63 SF = 18.41% OF PARKING AREA
PROVIDED RECREATIONAL SPACING:	163,984 SF = 3.50% OF PROPOSED OPEN SPACE
EXISTING TREE ACREAGE:	172.00 ACRES
PROPOSED TREES PER ACRE:	15.25 TREES
TOTAL NUMBER OF DWELLING UNITS:	510 MULTI-FAMILY UNITS WITH 1,2, OR 3 BEDROOMS PER UNIT 106 SINGLE FAMILY UNITS (LOTS)
SQ FT OCCUPIED BY STRUCTURES:	
ALL BUILDINGS- R.O.W.-	1,267,665.93 SF 29.10 ACRES
PARKING AREAS-	1,412,253.82 SF 32.42 ACRES 2,651,757.26 SF 60.88 ACRES

OPEN SPACE - COMMON OPEN SPACE

LAND AREA:	14,190,791.58 SF
REQUIRED OPEN SPACE:	3,547,697.90 SF = 25% OF LAND AREA
PROVIDED OPEN SPACE:	4,672,537.00 SF = 32.92%
REQUIRED COMMON SPACE:	1,419,079.16 SF = 10.00% OF LAND AREA
PROVIDED COMMON SPACE:	1,487,259.70 SF = 10.48%
SHARED OPEN/COMMON SPACE:	DEFINED AS AREAS CAPABLE OF MEETING BOTH REQUIREMENTS.

COMMON SPACE AMENITIES

- SIDEWALKS WITH SUBSTANTIAL ORNAMENTAL TREATMENTS (E.G. BRICK PAVERS; VARIETY IN MATERIALS, COLOR, TEXTURE, USE OF IMPERVIOUS MATERIALS WHEN CONSISTENT AMERICANS WITH DISABILITIES ACT.)
- SIDEWALK PLANTERS. PLANTERS WITH POTENTIAL SEATING AROUND PERIMETER.
- PUBLIC ART. (E.G. SCULPTURE, FOUNTAIN, CLOCK, MURAL, ETC.)

BASE DENSITY (FAR)

LAND AREA:	14,190,791.58 SF		
LAND CLASSIFICATION	LAND AREA	BASE FAR	ALLOWED BUILDING AREA
RESOURCE PROTECTION:	226.34 ACRES	0.15	1,478,905.56 SF
URBAN TRANSITION:	99.44 ACRES	0.20	866,284.24 SF

PROPOSED DENSITY (FAR)

LAND CLASSIFICATION	FAR	PROPOSED BUILDING AREA
RESOURCE PROTECTION:	0.1461	1,440,509.58 SF
URBAN TRANSITION:	0.1761	763,060 SF

IMPERVIOUS SURFACE

LAND AREA =	14,190,791.58 SF
IMPERVIOUS AREA PER LAND CLASSIFICATION:	
URBAN TRANSITION =	2,201,328.26 SF = 15.50 %
RESOURCE PROTECTION =	2,236,766.81 SF = 18.00 %

Mayfaire Zimmer Office
JEFF WALTON
APPROVED 4/5/22
SWP 2022016
JW, RC, MB, BM, CW

APPROVED
By Jeff Walton at 9:35 am, Apr 05, 2022

NARRATIVE

The Master for Mayfaire responds directly to the goals as envisioned by the MX ordinance of the City of Wilmington. The plan is initially based on an analysis of the site with areas of environmental sensitivity carefully incorporated into the plan. The creation of significant open space as the primary ordering agent is central to the form of the Master Plan.

As the MX ordinance described, the plan provides for an integration of land uses that are linked by both vehicular and pedestrian facilities. These linkages extend into the surrounding neighborhoods and the community at large. These connections will provide for vehicular and pedestrian access to the facilities of Mayfaire on appropriately scaled facilities without requiring these movements to be accomplished via thoroughfares.

The Master Plan also provides for the integration of various uses into the plan including the placement of residential or office above retail. Additionally, the provision of structured parking for a part of the plan will as the ordinance desired reduce the impervious areas required for the various uses. In addition, the integration of the uses in the traditional town form has allowed for the reduction of parking from traditional suburban properties in the town center area.

The Master Plan creates a series of character areas defined by open space and by the positive relationships of building facades to the street. This coupled with on street parking and articulated pedestrian ways reinforces the town fabric that is desired by the MX ordinance.

The plan for Mayfaire provides for innovative management of storm water by the use of water quality ponds, detention, and infiltration. These uniquely serve to control flooding, provide for water quality treatment and via the infiltration control pollutants from entering fragile waters. Additionally this infiltration serves to hydrate the wetland areas and provides for the recharging of the ground water.

The mix of uses will reduce traffic to perimeter streets by encouraging internal movements within the property. This will create a better physical environment while reducing impacts to adjacent facilities.

The development of Mayfaire will proceed in an orderly fashion to provide the connections as described by the Master Plan. In each instance all connections adjacent to each phase will be made as that phase is constructed. These connections to NCDOT roadways will be in accordance with the traffic study and as agreed upon by the owner and NCDOT. The neighborhood connections will be made as described by the Master Plan and as approved by the City of Wilmington Traffic Department. Pedestrian connections will also be provided in accordance with the Master Plan.

Storm water Management facilities will be constructed in accordance with the Master Storm water Management Plan to meet all local and state requirements. These facilities will be constructed in each phase as site work creates the need to construct. Prior to the creation of impervious surfaces the facilities shall be in place and be in a functioning condition.